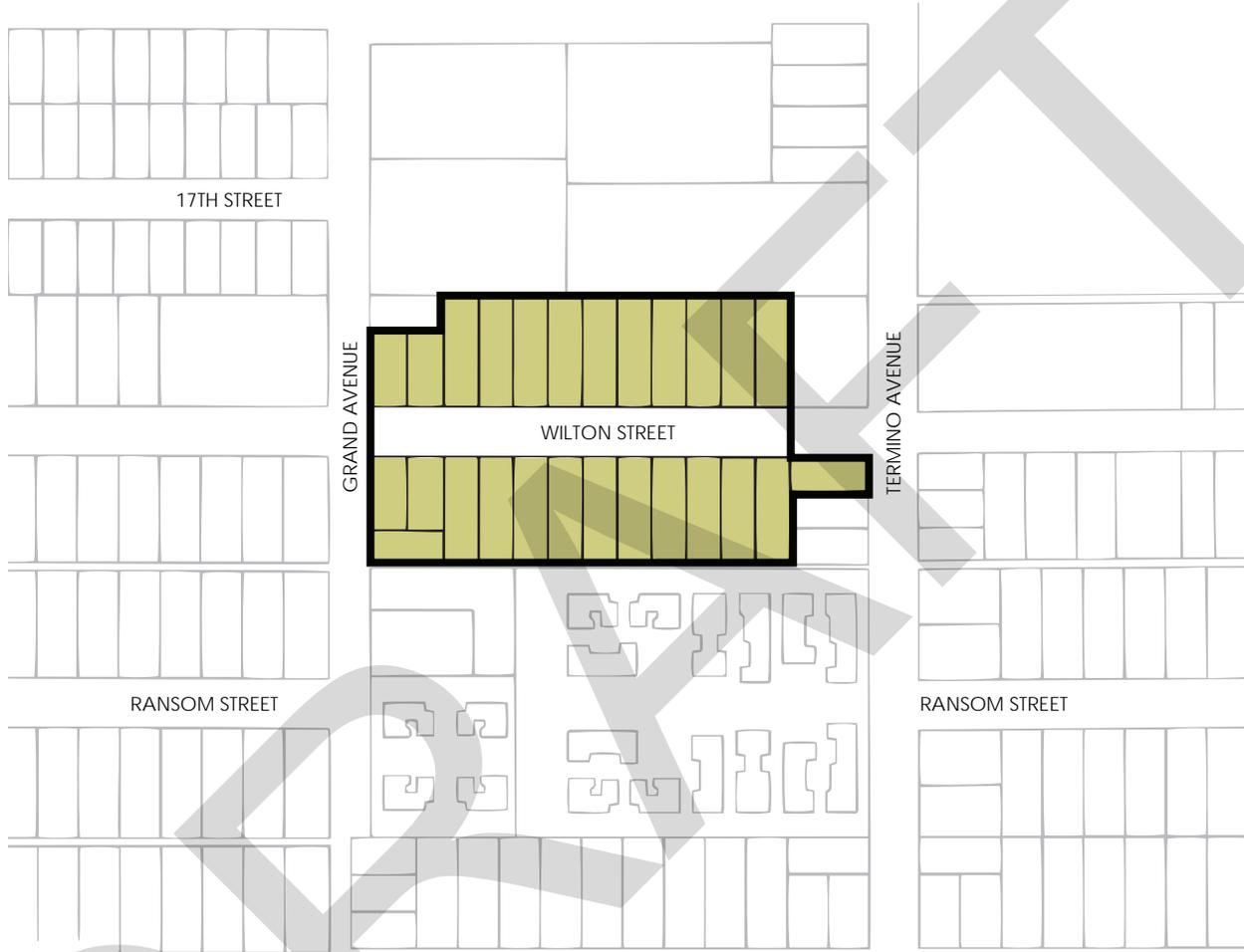


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Wilton Street Historic District Design Guidelines

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District Significance

The Wilton Street Historic District was established in 1995. The residential district is significant for its association with the early development of Long Beach. It is an intact representation of single-family working class homes from a period of tremendous economic growth in Long Beach. As employment opportunities expanded, so did the demand for affordable housing. The houses are similar in scale and are Spanish Colonial Revival in style; while modest, the homes are all individualized. The neighborhood was developed by the Hauser Real Estate & Building Company, and constructed by F.E. Teeple.

- Established by ordinance on August 1, 1995 (Ord. No. C-7346)
- 25 Contributing Properties, 1 Non-Contributing Property
- Period of Significance: 1924



District Description

The Wilton Street Historic District is located in northeast Long Beach on Wilton Street between its intersection with Termino and Grand Avenues. All of the contributors to the district are single-family residences in a modest Spanish Colonial Revival style.

Wilton Street is a two-lane street, oriented east-to-west. The street is approximately 35' wide and the concrete sidewalks are approximately 5' wide. The curbs are standard height, about 8 to 10", with squared edges and gradually sloping curb cuts at corner crossings and driveways. A planting strip that is approximately 4' wide divides the street and sidewalk. It is planted with grass and various mature trees including palms. There may have been a regular street tree pattern at one point, but it is no longer evident today. Parallel parking is available on both sides of Wilton Street, and each house has a one-car garage to the rear of the parcel. Historically, these garages were detached, but many appear to have been attached via subsequent additions to the homes.

Overall, the residences in the Wilton Street Historic District are consistent in their massing, style and setback. The majority of the homes are clad in stucco with flat, parapeted roofs lined with clay tile coping.

Common alterations include textured stucco, removal of clay tile coping, and installation of replacement windows.



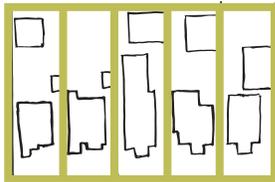


Site Layout

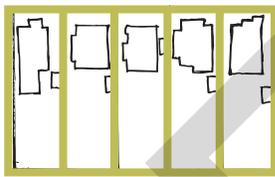
The Wilton Street Historic District is comprised of single-family residences in a modest, Spanish Colonial Revival style. The dwellings are arranged near the fronts of their lots with a uniform setback, and take up much of their street frontage. This leaves ample space to the rear of the property, and allows for each contributor to have a detached garage to the rear. Side driveways provide access to garages and secondary dwellings.

The residences are generally uniform in style, height, massing, and roof profile, giving this small historic district a distinctive feel that differentiates it from the surrounding neighborhoods.

Lot Size



Wilton Street



Lots sizes in the Wilton Street district are very uniform.

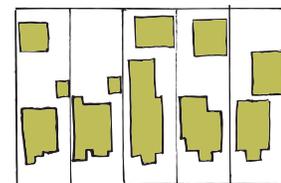
The lot sizes in the Wilton Street Historic District are all rectangular, approximately 40' by 130' with the narrow end facing the street. Any change in lot size is not permitted.

Currently, there is a contributing single-family residence on all but one lot in the district. Combining lots together could result in the loss of a district contributor or create a disruption in the visual continuity of the district. Lot splitting is not permitted by the City's zoning laws; however, a second dwelling may be added to the rear, provided that it follows the guidelines for ancillary construction (see below) and any applicable City standards. Many properties in the Wilton Street district already have secondary dwellings, and in many cases the rear unit also has historic value.

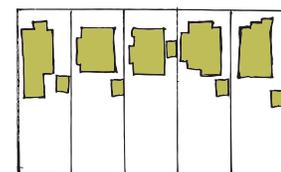
Ancillary Buildings

Each contributing property within the Wilton Street Historic District is occupied by a single-family residence located near the front of the lot, and has a side driveway leading to a modestly sized, single-car detached garage to the rear of the lot. Some garages have been expanded or attached to the primary residence with subsequent additions. Some of the detached garages have been modified with a second story addition.

New ancillary buildings or secondary dwellings to the rear may be appropriate; however, these ancillary buildings should be sensitively designed and constructed. Any new ancillary buildings should be appropriate to the size of the backyard and consistent with other City setback requirements. In this area, the minimum setback is 4' from the lot line. (Continued next page.)



Wilton Street



The homes on Wilton Street have detached garages. Many contributors also have secondary dwellings to the rear.



Ancillary Buildings (Continued)

Any new construction should not be highly visible from the street, and should be compatible in size, scale, and design to the primary building. In the Wilton Street Historic District, consider designing detached garages or ancillary buildings with flat roofs with Spanish clay tile accents, stucco cladding, and rectangular openings so that they are compatible with the historic district.

The ancillary building or secondary dwelling should be constructed in such a way that it does not obscure or damage existing character-defining features or structures. Adding a new building or feature that would require removal of an existing, historic building or feature is never recommended. For example, removing a historic detached garage to replace it with an attached garage would not be appropriate. Consider constructing a free-standing structure instead of attaching it directly to the primary residence in a manner that could damage or penetrate the exterior.

Existing detached garages may be expanded to the rear in order to accommodate larger, contemporary vehicles. Any addition or expansion should be compatible in design and materials with the existing garage, and the primary residence. Historically detached garages should not be attached to the primary building, so that its original relationship to the site is maintained.

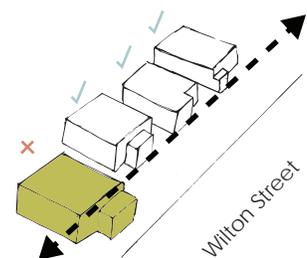
Expansions or alterations to secondary dwellings with historic value are acceptable, so long as they follow the same guidelines for contributing buildings. Non-historic secondary dwellings should follow the guidelines for non-contributing buildings.

Setback

The contributing residences within the Wilton Street Historic District have a consistent setback of about 25' from the street. Any change to the setback from the street on the primary elevation would cause a disruption in the visual continuity of the district, and is not recommended.

Properties in this area have an approximately 8' setback from the east property line. The City of Long Beach zoning code requires a minimum setback of 4' from the property line. When constructing new additions, this historic 8' setback should be maintained in any areas that are visible from the public right-of-way. This will maintain the visual cohesion of the district.

Additions that are not visible from the public right-of-way may take advantage of the 4' minimum.



Altering the existing setback (indicated with a red x) could cause a visual disruption in the district.

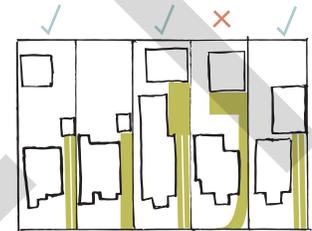


Automobile Access



Each property within the Wilton Street Historic District has a side driveway that leads to a detached garage to the rear of the lot. Driveways should not be relocated. Some properties still retain their historic, dual-ribbon concrete driveways, while others have been filled in or paved over entirely with a solid concrete slab. Retaining the location of existing driveways is recommended, as this will preserve the building's historic relationship to its site, and maintain the visual continuity of the district.

The driveways in the district are currently poured concrete, either in solid slabs or dual ribbons. Repaving the driveway with a different material, such as brick, flagstone, or pavers without sufficient evidence that these materials existed historically is not recommended. When an existing solid slab driveway has reached the end of its useful life, consider restoring the original appearance of a dual ribbon driveway rather than replacing or repairing the existing driveway. The space between the dual ribbons may be filled with low plantings such as grass, or gravel such as crushed quartz or river rock. The ribbons and the space between them are typically all the same width; refer to existing examples within the Wilton Street Historic District in order to achieve the correct ratio. Altering the width of the driveway is not recommended, in order to maintain the historic feel of the district.



Wilton Street

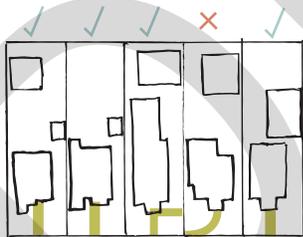


Changing the shape or width of the existing driveways (indicated with red X) can disrupt the visual cohesion of the neighborhood.

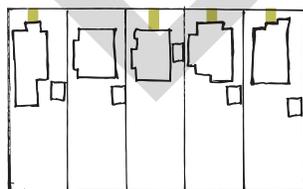
Walkways

The majority of contributing residences within the Wilton Street Historic District have a walkway leading from the front porch/main entry to the sidewalk. Historically, these walkways were smooth concrete with scored joints. The location of the walkways should be retained. The addition of a secondary walkway from a side driveway to the front door is acceptable, as long as the original, centralized walkway is retained. This will help to maintain the visual cohesion of the district. This approach can also be used to address handicap accessibility. Any new walkways should be executed in a compatible paving material, such as poured concrete with scored joints, Spanish style pavers, or interlocking pavers.

Although it is more important to retain the location of the historic walkway, altering the historic width of the walkway is generally not recommended. (Continued next page.)



Wilton Street



Retaining the original placement and path of the walkways (indicated with blue checkmark) will help maintain visual cohesion.

Walkways, Continued



Removing the concrete and replacing it with another material such as pavers, fieldstones, or brick, gravel or dirt, would not be compatible with the historic character of the district. In instances where the walkway has already been altered, consider restoring the historically compatible concrete when the non-original material has come to the end of its useful life.



(Left to right) Spanish style pavers, interlocking pavers, and smooth concrete with scored joints are acceptable materials for walkways in Wilton Street.



(Left to right) Fieldstone, brick, and gravel are not recommended materials for walkways for the architectural styles in Wilton Street.

Porte-Cochères, Trellises, and Decks

Often, features such as **porte-cochères** and **trellises** can be an appealing addition to a home. Several of the contributing properties in the Wilton Street district have existing porte-cochères that project from the front elevation and span over the side driveway. Because there are existing examples, adding a porte-cochere to the side elevation of a contributing residence is acceptable; however, the alteration should be adequately documented through means such as photographs and drawings, so as to not create a false sense of historical development (i.e. someone in the future will not mistake the porte-cochère as original).



The porte-cochère should be compatible in size, scale, and style to the contributing property; refer to existing examples within the district to guide the design. The porte-cochère should be constructed carefully so that it does not damage or penetrate existing historic or character-defining features; if the porte-cochère were removed in the future, the original structure should remain unimpaired.



There are no existing trellises or decks on the primary elevations within the district; therefore, they are not characteristic of the district. Changes to the rear elevation are much less visually obtrusive, and the construction of a trellis, deck, or similar feature to the rear elevation would be acceptable, provided that it is not visible from the street. Like the porte-cochères, the addition of the trellis should avoid damaging or penetrating the existing historic or character-defining features, even on the rear. (Continued next page.)



Porte-Cochères, Trellises, and Decks, Continued

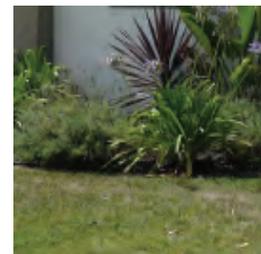
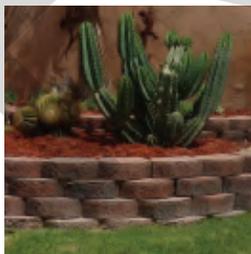
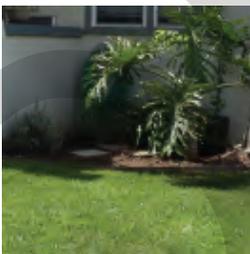
Adding a new feature that would require removing an existing historic or character defining feature is never recommended; for example, it would not be appropriate to remove an existing walkway that existed historically to add a new patio and trellis. Additions to the rear are acceptable as long as they can be easily removed in the future, thereby restoring the residence to its historic appearance.

Landscaping

Each of the properties in the Wilton Street Historic District has a front yard approximately 15' in depth. The majority of yards are covered with a grass lawn, although some have been replaced with drought tolerant landscaping. Many properties also have small gardens, shrubs, and mature trees. A narrow, grassy planting strip in front of each building separates the sidewalk from the street.

Changes to the landscaping are acceptable, so long as the existing planting area and layout are retained. Drought-tolerant landscaping is acceptable within the existing planting area. Hardscaping or otherwise paving the front yard with materials such as concrete, fieldstone, bricks, or pavers is not permitted.

In most cases, adding new garden or planter walls where they did not exist historically is not recommended on the front elevation; however, some contributors have existing gardening edges or planters in the front yard. Adding gardening edges or planters may be acceptable as long as they are low-profile, of a compatible material, and do not obscure or damage any character-defining features of the primary elevation.



Examples of existing landscaping within the Wilton Street Historic District.

Consider removing or trimming excessively overgrown shrubs, bushes, or landscaping that may obscure or highly detract from the visibility of a contributing building within the district to maintain the overall cohesive feel of the historic district.

Fencing

Only one property in the Wilton Street Historic District has a low, stucco perimeter wall; therefore fencing in the front yard is not a character defining feature of the district. Other properties do have retaining walls, but these are necessitated by the lot slope. (Continued next page.)

Fencing, Continued

Generally, installing a new fence on the street-facing elevation is not recommended without sufficient documentation to indicate that it existed historically, or if the surrounding properties in the district do not have front fencing. As the majority of properties in the district do not have front fencing, the introduction of this feature would disrupt the visual continuity of the district and is not recommended.

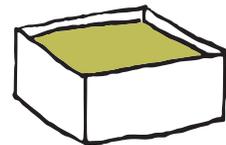
Rear fencing is acceptable. Height restrictions may apply, and vary by location. Appropriate rear fencing materials include 5-6' high solid wood vertical planks or dog-eared fences, board and batten fencing or other solid wood fencing. Rear fencing should not extend in front of the residence into the front yard area; additionally, any gates leading to a side yard or driveway should be placed toward the side or rear, rather than at the front of the residence.



Fences should be located to the rear or sides of the property, indicated with a blue checkmark.

Roof

All of the contributors in the Wilton Street Historic District are Spanish Colonial Revival in style. The roofs are primarily flat with parapet walls, and most retain their historic clay tile coping along the edge of the parapets. Most of the entryways are sheltered by a shallow projecting porch with a gabled or pent roof clad in clay tile. Other entries are sheltered by a shallow pent overhang clad in clay tile. Clay tile should always be retained, and replaced in kind. Composition shingles are not acceptable on a Spanish Colonial Revival style building.



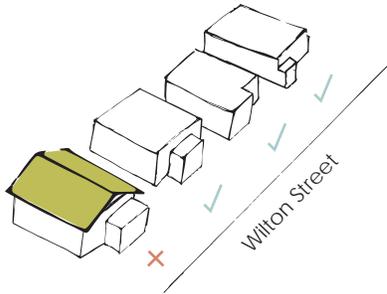
Flat roof with parapet wall.



Clay tile coping should remain around a parapet (left); it should not be replaced with metal flashing (center) or removed entirely (right).

Changes in Roofline

Radically changing the overall shape of the historic roofline—i.e., adding a gabled roof to a flat roofline, or changing the pitch of a gabled roof is not permitted.



The historic roofline of a contributor should always be retained. An entirely new roofline, indicated with a red X, would drastically alter the appearance of the building.

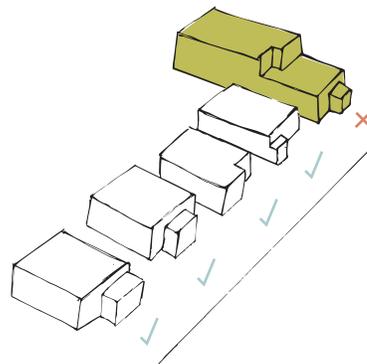
Removal of clay tile coping is not permitted; the clay tiles should be repaired rather than replaced. If the coping is demonstrably beyond repair, it should be replaced in kind. If the clay tile coping has already been removed, replacing it with a compatible clay tile is strongly encouraged. Not only is it a more historically appropriate and attractive finish to the parapet, the coping also provides a measure of protection to the roofline and helps to deflect water away from the building.

Rooftop/Upper Story Additions

Second floor additions on a single story residence are discouraged within the Wilton Street Historic District. Contributing properties in the district are single-story homes, and the addition of another story would be highly visible from the street and could disrupt the visual cohesion of the district. Prioritize increasing the size of your home by constructing compatible additions to the rear.



This second-story addition (shaded green) is highly visible from the street and changes the overall scale of the original, single-story Spanish Colonial Revival home.



Second story additions, indicated with a red X, would disrupt the visual cohesion of the Eliot Lane district.



Front Elevation

Porches and Entryways

The most common entryway type in the Wilton Street Historic District is a shallow, projecting porch with a gabled or pent roof and arched openings (A). These porches extend to the side of the entrance to create a small patio. Other entries are simply recessed within the façade of the residence and sheltered by a shallow roof overhang (B). All of the residences have a set of steps that lead to the entryway.

Porches and entryways are visually dominant features on a historic building, especially for residences. Even minor changes to an entryway can drastically alter the appearance of the building and could affect its historic character, especially with small modest residences such as those within the Wilton Street Historic District. Therefore, careful attention should be made when proposing alterations to the porch or entryways. Since all the residences within the Wilton Street Historic District are designed in the Spanish Colonial Revival Style, then any new features such as railings, paving materials, etc. should be compatible with the Spanish Colonial Revival style outlined in Chapter 4, Section 16.



(A)



(A)



(A)



(B)

Porch Enclosure and Enlargement

All of the porches in the Wilton Street Historic District are small in scale and centered on the primary elevation. As such, enclosing the porch area or enlarging the porch within this district would drastically alter the appearance of contributing buildings and affect their historic character. An enclosed porch would obscure character-defining features of the primary elevation and would only add a negligible amount of new space; therefore, enclosing a porch or enlarging a porch within Wilton Street Historic District is not permitted.



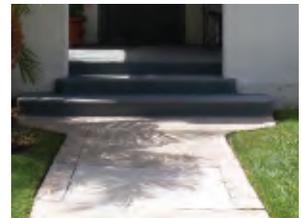
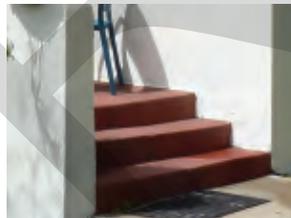
Porch Supports and Railings

The majority of porches are simply enclosed by low, stucco walls. These walls should be treated the same as the exterior cladding, as described below, and should not be covered with any other material. Other types of railings, such as wrought iron railings or wood balustrades, are not characteristic of this district. The introduction of railings where they did not exist historically is not recommended; however, should the addition of a railing be required for egress or safety, please refer to the Spanish Colonial Revival Style Guide in Chapter 4, Section 16 to guide the design of a compatible option.

Porch Floor, Steps and Foundation

All of the contributing residences in the Wilton Street Historic District have a set of steps leading to the porch floor. Historically, the steps and porch floor were smooth concrete, although there are examples within the district that have been replaced with materials such as brick or have been embellished with decorative tile. The concrete steps and porch floor should remain, and may be painted as desired in compatible colors. Please see Chapter 4, Section 16 for compatible colors to the Spanish Colonial Revival style.

Installing new steps or covering the existing steps and porch floor with an incompatible material or texture, such as brick or fieldstone veneer, on a street-facing elevation is not recommended without sufficient documentation to substantiate that they existed historically. In the Wilton Street Historic District, the application of Spanish-style pavers in place of the historic smooth concrete is acceptable, though not recommended.



The porch floors and steps within the district are predominantly smooth concrete, and are often painted in compatible colors.

The porch foundations within the Wilton Street Historic District are all covered in stucco. This stucco should be treated the same as the exterior cladding, as described later in this section, and should not be covered with any other material.

Balconies, Balconettes and Architectural Projections

The contributing buildings within the Wilton Street Historic District do not have balconies or balconettes, nor are these features compatible with the modest Spanish Colonial Revival style homes. These features are typically—and logically—associated with multi-story buildings, and the contributing properties in the district are just one story in height. (Continued next page.)



Balconies, Balconettes and Architectural Projections, Continued

Installing a bay window or other, similar projecting feature to the sides or front of the buildings in the Wilton Street Historic District is not permitted, as these features would drastically alter their appearance. Changes to the rear elevation are much less visually obtrusive, and the construction of a bay window or similar architectural projection would be acceptable, though not highly recommended, provided that it is not visible from the street and is architecturally compatible with the contributing building. Avoid damaging or penetrating the existing historic or character-defining features, even on the rear. Balconies and balconette may be acceptable on new rear additions or second story additions to detached buildings to the rear of the residence as long as they are not highly visible from the street and they are architecturally compatible with the contributing building.



Non-original architectural projections can alter the appearance of a historic building.

Additions

Several of the residences in the Wilton Street Historic District already have additions to the rear; generally, these additions are no taller than the original building and are not highly visible from the street. The lot sizes within the Wilton Street Historic District is large enough to accommodate additions to the rear or new buildings within the rear yard area of the residence, as long as the additions conform to other city codes and setback requirements.

Front Additions

Adding a new addition to the front elevation of a contributing building within the Wilton Street Historic District would cause a drastic change to the historic character of the primary elevation of the building. Furthermore, an addition to the front would alter the existing setback from the street and disrupt the visual continuity of the district. Therefore, front additions are not permitted.

Instead, if necessary, consider constructing additions on elevations that are less visible from the street. Within the Wilton Street Historic District, the most appropriate location to add an addition would be to the rear of the residence.

Side and Rear Additions

Side additions are generally less visually obtrusive than front additions; however, the buildings within the Wilton Street Historic District have a shallow setback from the street and no side fencing, and most side elevations are still highly visible from the street. Therefore, side additions are not recommended in the Wilton Street Historic District.

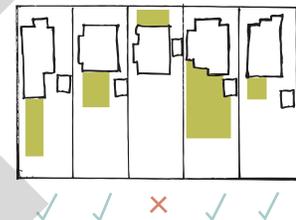
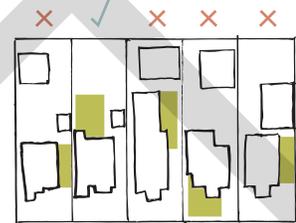
Dwellings in this area have an approximately 8' setback from east property line. The City of Long Beach zoning code requires a minimum setback of 4' from the sides of the lot. (Continued next page.)



Side and Rear Additions, Continued

When constructing new additions, this historic 8' setback should be maintained in any areas that are visible from the public right-of-way. This will maintain the visual cohesion of the district. Additions that are not visible from the public right-of-way may take advantage of the 4' minimum.

Adding a single-story addition to the rear of a residence is acceptable for all properties within the Wilton Street Historic District, provided that it is sensitively designed and is not highly visible from the public right of way. The addition should not envelop or be larger than the existing building. Additions should always add to the existing footprint of the building; new construction should never involve removal of a portion of the original residence. The size and massing of the addition should be compatible with the historic character of the residence, and it should not be taller than the existing roofline. As the properties in the Wilton Street district have flat rooflines, taller additions would be highly visible from the street and would disrupt the district's visual continuity. Additions to the residence should not form a connection between the primary building and detached garage, in order to maintain the historic spatial relationship of the site.



Additions should be smaller than the primary building, and arranged towards the rear. Any additions should not be visible from the public right-of-way.

All rear additions should be compatible with, yet distinguishable from, the original building style. Design your rear addition to be compatible in size, massing, material, and color. The original building materials, style and detailing should not be duplicated exactly so that the new portion is not mistaken for an original portion of the residence in the future. In the same vein, the transition between the original portion of the residence and its addition and the windows/doors should not be duplicated exactly either. This can create what is called a false sense of history, (i.e. it could be difficult, even for professionals, to determine which portion of the residence is original). A Spanish Colonial Revival addition may be differentiated through the use of a setback (or bump out) from the original wall plane, a lower roof height, and different windows. For example, if the primary residence has multi-light wood casement windows, consider single-light wood casement windows for the addition. (Continued next page.)



This addition (indicated by dashed line) is reasonably sized. It is located on a rear addition, away from the public right-of-way, and is no higher than the original roofline. The addition is connected to the primary residence by a "hyphen," or narrow corridor. New multi-light wood windows were used on the addition, and had a different profile on the sill. Overall, this addition is compatible with the original residence.

(Note that composition shingles are not typically permitted on a Spanish Colonial Revival style residence. In this case, they likely replaced wood shingles.)



Side and Rear Additions, Continued

A second story addition may only be appropriate on an existing secondary building to the rear of the lot, as long as the addition is not highly visible from public right of way. As with rear additions to the primary building, the size, scale, design, and materials of the addition should be compatible with the contributing buildings within the historic district.

All additions should be planned and constructed carefully so that they do not cause damage to the historic building—one way to think about it is: if you were to someday remove the new addition, would the original building remain intact? Note that if your proposed addition is limited to a total of 250 square feet in size or less, then the project may be reviewed by Planning Bureau staff without further review. While larger additions may be possible, they will be subject to further review by the Cultural Heritage Commission.



The additions above, while generally compatible with their respective styles, are very large and would not be permitted in the Wilton Street District. They are tall and constructed on the primary residence, making them highly visible from the street and detracting from the original, historic home. Second story additions are not permitted on primary homes in the Wilton Street District. As they would not be highly visible from the public right-of-way, a second story added to secondary dwellings to the rear may be acceptable.

Chimneys

Only a few contributing properties have chimneys. Adding a chimney to a building without sufficient evidence to suggest that it existed historically is not recommended. Removing an original chimney is also not recommended; inactive chimneys may be sealed, so long as their external appearance is retained. Changing the size, height, or dimensions of the chimney is not recommended.

The chimneys within the district are either masonry or clad in stucco. Painting masonry chimneys is not recommended unless there is sufficient evidence to suggest it was painted historically. Paint is not only difficult to remove from masonry, but it can drastically alter the character of the historic feature. Similarly, masonry that is painted should not be stripped of its paint without sufficient historic evidence that it was historically unpainted. (Continued next page.)





Chimneys, Continued

The stucco covering a chimney should be treated the same as the exterior cladding, as described below, and should not be covered with any other material. Please see Chapter 2 for more information on how to repair the mortar on a brick chimney.

If a chimney is demonstrably beyond repair, replacement should be in kind, or compatible with the design, size, scale, and materials of the building. If a damaged chimney must be removed, it should be replaced; removing a historic feature and neglecting to replace it, whether in kind or with a compatible design, is not recommended.

Exterior Cladding

As cladding covers the majority of a building, even minor changes can drastically alter its historic appearance. Please see Chapter 2 for additional information on proper repairs and maintenance to stucco cladding.

All of the contributing buildings in the Wilton Street Historic District are clad in stucco. The majority of the contributing residences retain smooth, historically accurate stucco, while others have been covered with a less compatible, heavily textured stucco. As the existing non-original stucco comes to the end of its useful life, replacement with a more historically appropriate smooth textured stucco finish is encouraged, rather than replicating the existing texture.

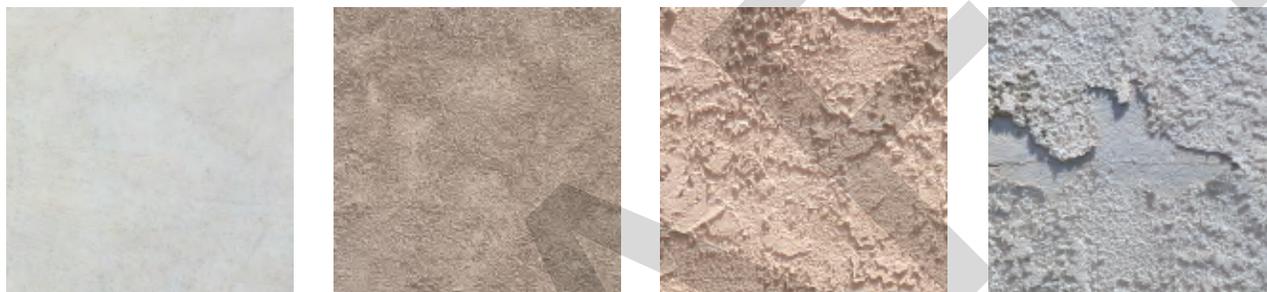
If the stucco is demonstrably beyond repair, it should be replaced in kind with a visually similar material. Wholesale replacement of the exterior cladding on elevations visible from the street is not recommended when the new material is substantially different from the existing material. For example, replacing historically smooth stucco with new stucco that has a heavy, troweled or sprayed texture would alter the historic character of the building. Replacing the cladding on a contributing building on Wilton Street with a new material that is not stucco, such as wood or brick, is not permitted. These materials would not be compatible with the historic nature and architectural style of the district contributors.

Covering or replacing the entire exterior cladding is often used as a means to “fix” or obscure prior cracks, repairs, patches, damage, or deferred maintenance. Without identifying the underlying cause of deterioration, which could be an early warning sign of material failure or stresses, this approach can cause more damage to the property in the long run. In some instances, moisture can get trapped between layers of stucco, causing the building to rot from the inside out or causing the exterior layer of stucco to delaminate from the base coat. Therefore, adding a second layer of cladding over damaged or deteriorating cladding without investigating and remedying the underlying cause of such damage is not recommended.

Contemporary or non-historic building materials such as vinyl, asbestos and aluminum siding are often marketed by vendors as being durable and low maintenance. However, despite the wide variety of colors, textures and sizes available in these materials, they are visually incompatible with most historic architectural styles. (Continued next page.)

Exterior Cladding, Continued

These materials are not appropriate for the stucco-clad Spanish Colonial Revival style historic properties within the Wilton Street Historic District. Therefore, installation of these materials in place of historic fabric is not permitted. When properly maintained, historic cladding or in-kind replacement of historic cladding materials are just as durable and economically sound as any modern alternative. The fact that these historic cladding materials remain on so many old buildings is proof of their potential longevity.



Stucco with a smoother finish (left) is more historically compatible than contemporary, heavily textured stucco finishes that are sprayed or troweled on (right, indicated with red X). The far right image even shows the non-original stucco spalling away, revealing the smoother finish underneath.

Windows

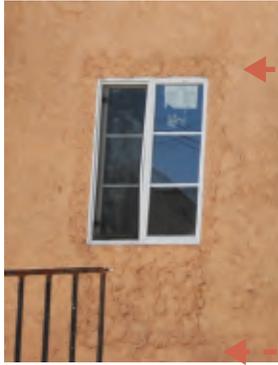
There have been a number of window replacements in the Eliot Lane Historic District; however, there are enough historic windows remaining to guide future restoration of incompatible windows. As a general rule, historic windows should always be regularly maintained and protected, and repaired rather than replaced. Replacement should really only be considered when the window is demonstrably damaged beyond repair. Please see Chapter 2 for more information on the proper maintenance and repair of historic windows.

Window Replacement

Original wood windows should be retained and maintained. In the event that an original wood window on any elevation needs to be replaced because it is damaged beyond repair, it should be replaced in kind (same size, material, type and design). The City of Long Beach does not allow the installation of new incompatible windows—such as vinyl or aluminum—on historic buildings, even these windows presently exist. In the event that an existing, incompatible window requires replacement on a contributing building, owners will be required to replace it with a wood window in a style that is compatible with Spanish Colonial Revival style, as outlined in the Style Guide in Chapter 4.

The size of the window opening should not be altered to accommodate the new window; rather, the window should be sized to fit the historic window opening.

New Window Openings



Changing window openings can leave "scars" on the exterior of a building. Red arrows indicate the original extent of the opening.

Changing the size, shape, number, or location of window openings, especially on elevations visible from the street, is not permitted. It would drastically alter the appearance of the building and affect its historic character.

Creating new window openings on the rear elevation not visible from the street may be acceptable, but not necessarily recommended. Property owners are encouraged to retain the original window opening sizes and locations on all elevations. If a window opening has been previously enlarged or altered, the property owner is encouraged to restore the window opening to its original size, using references such as historic photographs or other remaining windows on the building as evidence.

Window Screens

Window screens may be added to the primary elevation if needed, provided that they are sensitively designed and carefully installed. Window screens sized to match the original windows that have narrow, wood frames and are painted to correspond with the building's trim, as shown to the right, are recommended. The screen itself should be relatively transparent, and should not obscure the window behind it. Retractable screens may also be acceptable. Metal or vinyl framed window screens are not recommended.



This wood window screen, painted blue, does not detract from the historic window behind it.

Security Bars

Adding visually obtrusive security bars on the primary or side elevations is generally not recommended, and homeowners are encouraged to consider more compatible security measures. These may include interior locks, swing-away interior mounted security bars, and wireless security sensors, where feasible. This equipment should be installed carefully so as to avoid damaging historic windows, even from the interior. Damage, especially to wood windows, may leave the window susceptible to deterioration.

Awnings

It may be appropriate to install awnings on Spanish Colonial Revival properties; however, homeowners are encouraged to consider other methods of increasing shade or privacy, including interior shutters or window treatments, before installing exterior awnings. Please refer to the Spanish Colonial Revival Style Guide in Chapter 4, Section 16 for additional information on awnings. Adding window screens, awnings, or other window features to the rear is acceptable as long as they are not visible from the public right of way.



Doors

Many front doors on the contributing properties in the Wilton Street district are obscured behind metal screen doors. Of the doors that are visible, the most common type is a glazed wood door with geometric muntins. As there are so many examples of this door, it may suggest that these are original doors for the district.



These glazed wood doors with geometric muntins appear to be the original doors for the Wilton Street District.

Other doors within the district consist of wood paneled or partially-glazed wood doors. As a general rule, historic doors should always be regularly maintained and protected, and repaired rather than replaced. Replacement should really only be considered when the door is demonstrably beyond repair.

Please see Chapter 2 for more information on the proper maintenance and repair of historic doors.

Door Replacement

In the event an existing door needs to be replaced because it is non-original or damaged beyond repair, it should be replaced with a door that is compatible with the building style. Consider installing a door that is similar to the geometric glazed wood doors seen throughout the district, as outlined in the Spanish Colonial Revival Style Guide in Chapter 4, Section. The size of the door opening should not be altered to accommodate the new door; rather, the door should be sized to fit the historic door opening. Likewise, altering the door opening to accommodate features such as sidelights, fanlights, or transoms that did not historically exist is not recommended.

Generally, door replacement on secondary elevations is less visually obtrusive than replacing doors on the primary elevation. Replacing doors on the side and rear elevations may be acceptable, but the use of compatible doors is still encouraged, especially if the door is visible from the public right of way.



New Door Openings

Changing the size, shape, number, or location of door openings, especially on elevations visible from the street, is never recommended, and would drastically alter the appearance of the building and affect its historic character.

Creating new door openings on the rear elevation not visible from the street is acceptable, but not necessarily recommended. Property owners are encouraged to retain the original door opening sizes and locations on all elevations; however, the addition or relocation of an exterior door on rear elevations may be acceptable in order to accommodate a new single-story addition. All additions should adhere to the guidelines provided earlier in this section.

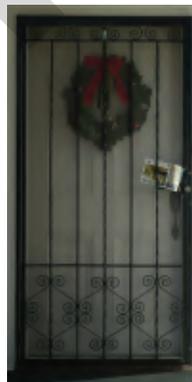
Storm and Screen Doors

The installation of a storm or screen door on the primary elevation for light or ventilation may be acceptable, as long as the door is sensitively designed and carefully installed. Storm or screen doors that are sized to match the original door, have narrow, wood frames, and are painted to correspond with the building's trim or primary door are recommended. The screen or glass itself should be relatively transparent, and should not obscure the door behind it.

Security Doors

Adding thick metal mesh security doors that obscure the front door is generally not recommended; however, for Spanish Colonial Revival style homes, a carefully designed wrought iron grille may be appropriate. Please see Chapter 2 for additional information on implementing historically-compatible security measures for your home.

Adding screen doors, security bars, or other door features to the side and rear is acceptable as long as they are not highly visible from the public right of way and they meet all City codes.





Decorative Elements

The Wilton Street Historic District is characterized by its Spanish Colonial Revival homes, which were historically quite modest in size and did not exhibit much decoration or ornamentation. Existing ornamentation is generally limited to clay tile coping around the parapet walls. Adding decorative elements such as shutters, inlaid tile, or other applied architectural decoration is not recommended, as it would not be compatible with the historic setting of the district.

Non-structural and non-permanent decorative elements such as flags, plant pots, hanging plants, bird baths, etc., are acceptable as long as they do not damage, obscure, or overly detract from the character defining features of the historic property or district.

Alterations to Non-Contributing Buildings

Only one building within the Wilton Street Historic District is currently considered a non-contributing building to the district, as it was constructed with Ranch style influences outside the district's period of significance.

Non-contributing buildings are not required to mimic the appearance of surrounding contributing properties; however, the importance of maintaining the visual continuity of the district must be stressed. Currently, although the non-contributing property is designed in the Ranch style instead of the Spanish Colonial Revival style, it is generally compatible with the surrounding contributing buildings in terms of its scale, massing, and setback from the street. Therefore, adding an upper story addition or drastically changing the roofline or setback from the street are discouraged in order to maintain the existing cohesion in the Wilton Street Historic District. As a residence with Ranch style influences, the property owners are encouraged to reference the Ranch House Style Guide in Chapter 4, Section 15 when considering alterations.

New Infill

There are no vacant lots within the Wilton Street Historic District. Demolishing a contributing property in order to construct a new building is not permitted. In the event that a contributing building is intentionally altered, damaged, or demolished, the property owner could be subject to fines and penalties, and may be required to replace the damaged components in kind. These penalties may also apply to demolition by neglect, a process in which a property owner attempts to circumvent regulations for historic properties by knowingly and purposefully deferring all maintenance and repair—neglecting the building—until demolition becomes necessary for safety.

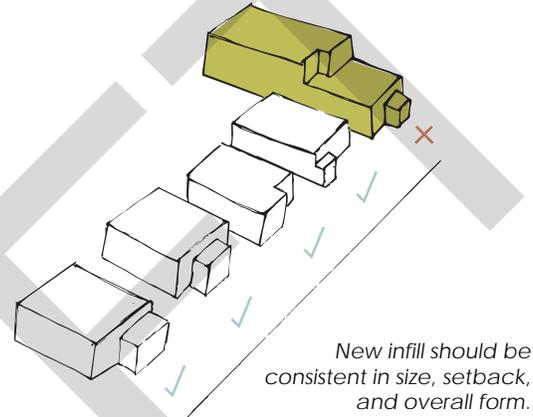
If an accidental fire results in damage to a contributing property, the homeowners should replace the damaged elements in kind. In the unlikely event that a contributing property is completely lost to an accidental fire, the property owners will not be expected to recreate the historic property unless desired; however, the replacement property should follow these guidelines in order to remain harmonious with the surrounding district. This replacement property will not be considered a contributor to the district. (Continued next page.)



New Infill, Continued

Lastly, if a non-contributing property is demolished, any new construction in its place will be expected to follow these guidelines.

While the guidelines for new construction within a district are not as prescriptive as those for historic buildings, new construction is expected to reasonably “blend in” with its surroundings, where feasible. New construction should be generally compatible with the existing contributing buildings in size, scale, setback, height, massing, design, materials, and architectural style to protect the overall character of the historic district.



New infill should be consistent in size, setback, and overall form.

New construction is not required to exactly match the contributing buildings. In fact, matching an existing design too closely is discouraged, in order to prevent the new building from being mistaken for an original historic building in the future; however, the new construction should generally take cues from the contributing building to fit into the district more harmoniously.

The contributing residences within the Wilton Street Historic District are all modest, Spanish Colonial Revival houses with flat roofs, stucco cladding, clay tile accents, and minimal ornamentation. They are primarily one story in height with a shallow setback from the street. Property owners planning new construction should consider including features like a flat roof, clay tile accents, smooth stucco cladding, arched openings, and rectangular windows in their design, and anticipate needing to be consistent with the prevailing height and setback in the district.