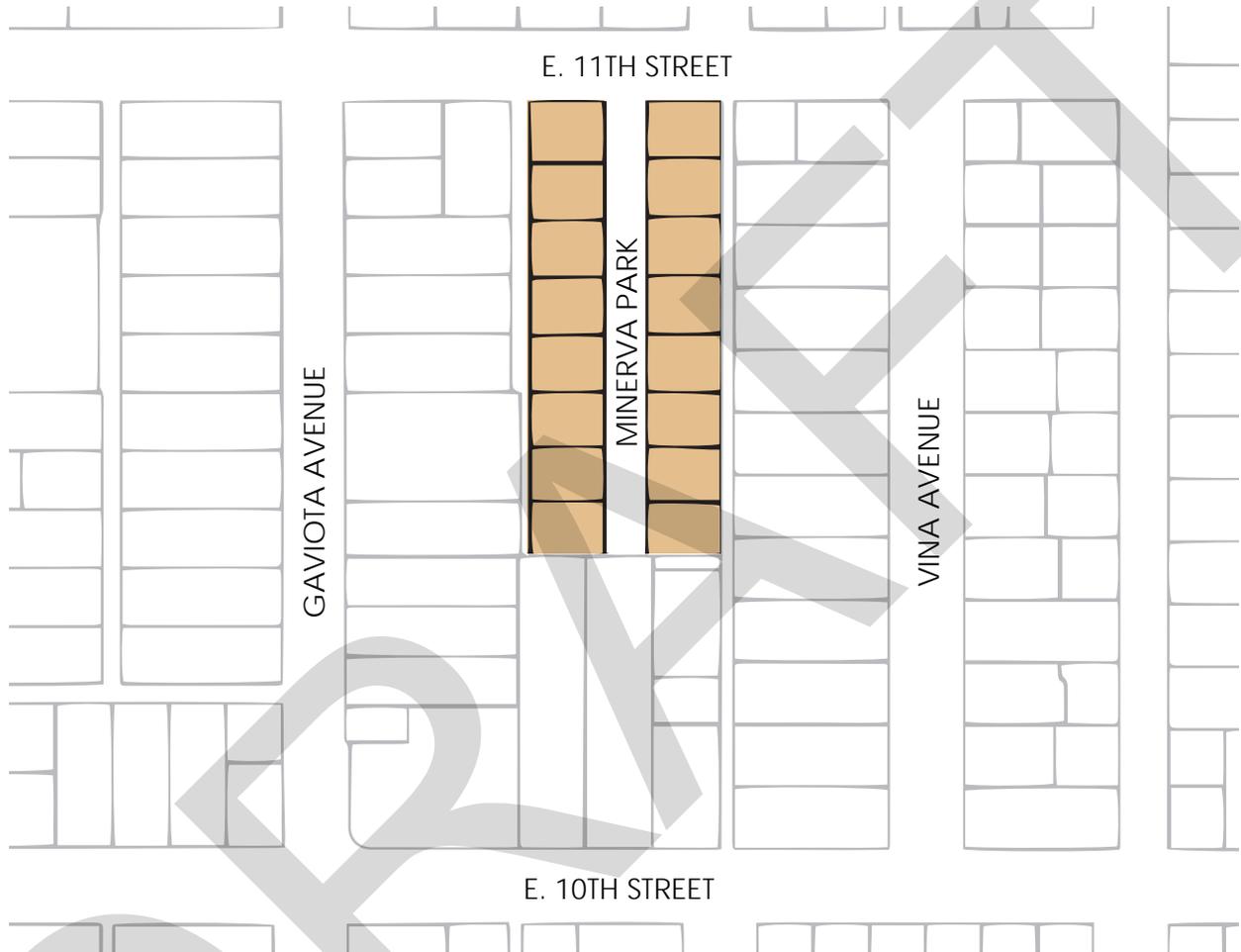


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Minerva Park Place Historic District Design Guidelines

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District Significance

The Minerva Park Place Historic District was established in 1989. The residential district is significant for its association with the early development of Long Beach. It is an intact representation of single-family working class homes from a period of tremendous economic growth in Long Beach. As employment opportunities expanded, so did the demand for affordable housing. The houses are similar in scale and are Spanish Colonial Revival in style; while modest, the homes are all individualized. The homes were all built in 1925 by developer Frank Smith, who lived on Minerva Park Place himself.

- Established by ordinance on November 7, 1989 (Ord. No. C-6656)
- 16 Contributing Properties, 0 Non-Contributing Properties
- Period of Significance: 1925



District Description

The Minerva Park Place Historic District is located in southeast Long Beach on Minerva Park. Minerva Park runs north-south, is approximately 20' wide, and is paved in asphalt. The district is accessed by E. 11th Street and dead-ends at a separate private property about mid-block.

The district is outfitted with squared, concrete curbs, concrete sidewalks that are approximately 3.5' wide, and sloping curb cuts at driveways and corner crossings. Adjacent to the sidewalk, there is a planting strip that is approximately 3' wide. The planting strip is primarily planted with grass; there are no street trees in the district. There is parallel street parking on either side of the street throughout the district, and the residences have side driveways and garages for additional automobile accommodation.

The district is comprised entirely of one-story single-family residences in the Spanish Colonial Revival Style. The residences are clad in stucco with predominantly flat, parapeted roofs lined with clay tile coping. Overall, the residences in the district are consistent in their massing, style and setback.

Common alterations include the application of highly textured stucco and installation of new windows.



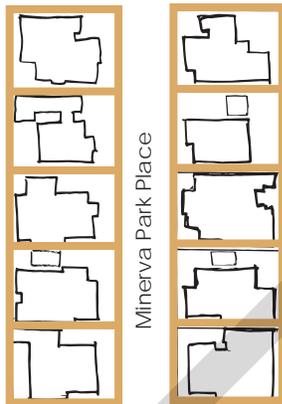


Site Layout

The Minerva Park Place Historic District is comprised of single-family residences in a modest, Spanish Colonial Revival style. The houses are arranged near the fronts of their lots with a uniform setback, and take up much of their street frontage. There is a rear yard behind each contributor, and each contributor has a detached garage arranged towards the rear of the lot. Side driveways to the north of each house provide access to these garages.

The residences are generally uniform in style, height, massing, and roof profile, giving this small historic district of working-class housing a distinctive feel that differentiates it from the surrounding neighborhoods.

Lot Size



Lots sizes in Minerva Park Place are quite uniform.

The lot sizes in the Minerva Park Place Historic District are all rectangular, approximately 40' by 60' with the narrower end facing the street. Any change in lot size is not permitted.

Currently, there is a contributing single-family residence on all lots in the district. Combining lots together could result in the loss of a district contributor or create a disruption in the visual continuity of the district. Lot splitting is not permitted by the City's zoning laws.

Ancillary Buildings

Each contributing property within the Minerva Park Place Historic District is occupied by a single-family residence located near the front of the lot, and a side driveway that leads to a modestly sized, single-car detached garage to the rear of the lot. Some garages have been expanded or attached to the primary residence with subsequent additions.

Small, new ancillary buildings to the rear may be appropriate; however, these ancillary buildings should be sensitively designed and constructed. Any new ancillary buildings should be appropriate to the size of the backyard and consistent with other City setback requirements. Any new construction should not be highly visible from the street, and should be compatible in size, scale, and design to the primary building. In the Minerva Park Place Historic District, consider flat roofs with Spanish clay tile accents, stucco cladding, and rectangular openings for ancillary buildings. (Continued next page.)



The homes in Minerva Park Place have detached garages.



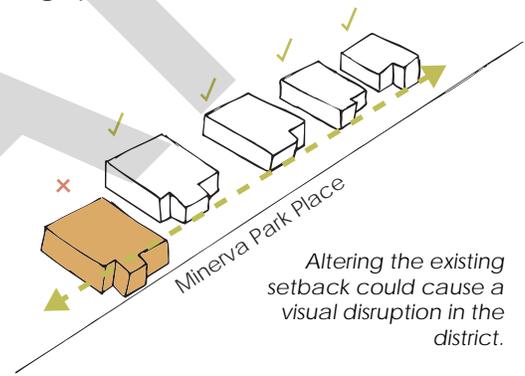
Ancillary Buildings, Continued

The ancillary building should be constructed in such a way that it does not obscure or damage existing character-defining features or structures. Adding a new building or feature that would require removal of an existing, historic building or feature is never recommended. For example, removing a historic detached garage to replace it with an attached garage would not be appropriate. Consider constructing a free-standing structure instead of attaching it directly to the primary residence in a manner that could damage or penetrate the exterior.

Existing detached garages may be expanded to the rear in order to accommodate larger, contemporary vehicles; however, the addition or expansion should be compatible in design and materials. Historically detached garages should not be attached to the primary building so that its original relationship to the site is maintained, unless the property owner is able to demonstrate that there is no other feasible option to increase living space.

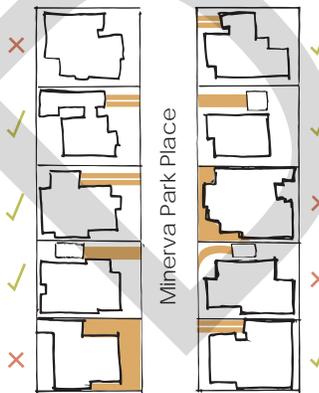
Setback

The contributors to the Minerva Park Place Historic District have a consistent setback from the street of about 15'. Any change to the setback from the street on the primary elevation would cause a disruption in the visual continuity of the district, and is not recommended. Furthermore, a change in setback may not be permitted by the City's zoning code.



Altering the existing setback could cause a visual disruption in the district.

Automobile Access



Changing the shape or width of the existing driveways (indicated with red X) can disrupt the visual cohesion of the neighborhood.

Each property within the Minerva Park Place Historic District has a side driveway that leads to a detached garage to the rear of the lot. Apart from the corner properties that face 11th Street, all of the driveways are oriented to the north of their respective residences. Driveways should not be relocated. Retaining the location of existing driveways is recommended, as this will preserve the building's historic relationship to its site, and maintain the visual continuity of the district. The driveways in the district are currently poured concrete slabs. At some point, these driveways may have been dual ribbon, as is the case with other historic neighborhoods in Long Beach; however, the driveways in the Minerva Park Place Historic District are all currently concrete slabs. Repaving the driveway with a different material, such as brick, flagstone, or pavers without sufficient evidence that these materials existed historically is not recommended. In the event that a driveway has already been resurfaced with a new material, consider restoring the historically compatible concrete with scored joints when the existing material has reached the end of its useful life.



Walkways



Each of the properties in the Minerva Park Place Historic District has a front walkway leading to the front porch or entry from the sidewalk. Historically, these walkways were smooth concrete with scored joints. The location of the walkways should be retained. The addition of a secondary walkway from a side driveway to the front door is acceptable, so long as the original, centralized walkway is retained. This will help to maintain the visual cohesion of the district. This approach can also be used to address handicap accessibility. Any new walkways should be executed in a compatible paving material, such as poured concrete with scored joints, Spanish style pavers, or interlocking pavers.



(Left to right) Spanish style pavers, interlocking pavers, and unpainted concrete are acceptable materials for walkways.



(Left to right) Fieldstone, brick, and gravel are not recommended materials for walkways.

Although it is more important to retain the location of the historic walkway, altering the historic width of the walkway is generally not recommended. Removing the concrete and replacing it with an incompatible material such as fieldstone, brick, gravel, or dirt would not be compatible with the historic character of the district. In instances where the walkway has already been altered, consider restoring the historically compatible concrete when the non-original material has come to the end of its useful life.

Porte-Cochères, Trellises, and Decks

Often, features such as porte-cochères and trellises can be an appealing addition to a home. However, porte-cochères and trellises are not characteristic features of the Minerva Park Place Historic District. The introduction of features that did not exist historically and are inconsistent with the contributing properties in the district is not recommended.

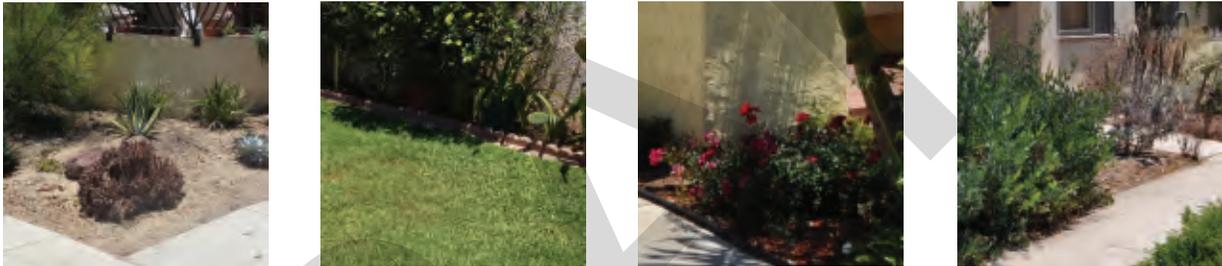
Decks and trellises may be constructed at the rear of the property, provided that they are not highly visible from the street. The addition of a trellis or deck should avoid damaging or penetrating the existing historic or character-defining features, even on the rear. New features should not obscure existing character-defining features or historic fabric such as original, character defining windows, porch features, chimneys, etc. Adding a new feature that would require removing an existing historic or character defining feature is never recommended; for example, it would not be appropriate to remove an existing walkway that existed historically to add a new patio and trellis.



Landscaping

Each of the properties in the Minerva Park Place Historic District has a front yard approximately 10' in depth. The majority of yards consist of grass lawn, although some have been replaced with drought tolerant-landscaping. Many properties also have small gardens, shrubs, and mature trees. A narrow, grassy planting strip in front of each building separates the sidewalk from the street.

Changes to the landscaping are acceptable, so long as the existing planting area, yard configuration, and layout are retained. Drought-tolerant landscaping is also acceptable within the existing planting area. Hardscaping or otherwise paving the front yard with materials such as concrete, fieldstone, bricks, or pavers is not permitted.



Examples of existing landscaping within the Minerva Park Place Historic District.

In most cases, adding new garden or planter walls where they did not exist historically is not recommended on the front elevation; however, several contributors have existing, gardening edges or planters in the front yard. Adding gardening edges or planter may be acceptable so long as they are low-profile, of a compatible material, and do not obscure or damage any character-defining features of the primary elevation.

Consider removing or trimming excessively overgrown shrubs, bushes, or landscaping that may obscure or highly detract from the visibility of a contributing building within the district to maintain the overall cohesive feel of the historic district.

Fencing

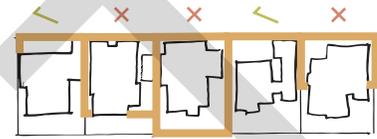
The majority of properties in the Minerva Park Place district do not have perimeter fencing in the front yard; therefore, fencing in the front yard is not a character defining feature of the district. Generally, installing a new fence on the street-facing elevation is not recommended without sufficient documentation to indicate that it existed historically, or if the surrounding properties in the district do not have front fencing. As the majority of properties in the district do not have front fencing, the introduction of this feature would disrupt the visual continuity of the district and is not recommended.

The use of incompatible, heavy, and visually disruptive fences such as concrete block, chain link, or wrought iron and masonry unit fences is strongly discouraged. These materials often appear temporary, and are rarely visually compatible with historic styles. (Continued next page.)

Fencing

Replacing incompatible fences with a more compatible material such as wood or removing the fencing entirely is encouraged, but not required. For information on implementing historically-compatible security measures for your home, please see Chapter 2.

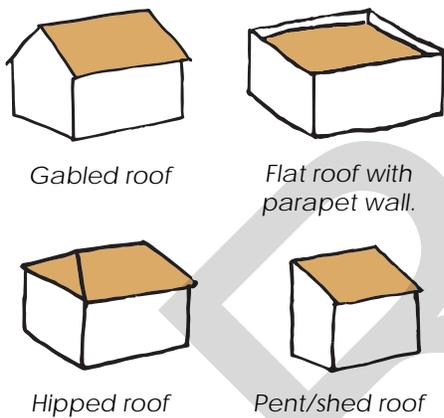
Rear and side fencing is acceptable. Height restrictions may apply, and vary by location. Appropriate rear and side fencing materials include five to six-foot-high solid wood vertical planks or **dog-eared** fences, **board and batten** fencing or other solid wood fencing. The use of solid stucco walls is acceptable at the rear of the property.



Minerva Park Place

Fences should be located to the rear or sides of the property. Installing front fencing is not recommended, as indicated with a red X.

Roof

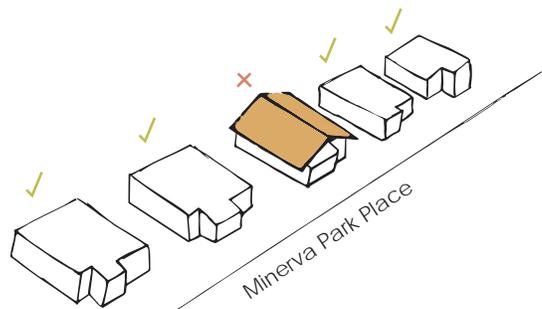


All of the roofs in the Minerva Park Place district are primarily flat, in keeping with their Spanish Colonial Revival style. Some designs include volumes at the front elevation that are covered by smaller gabled or hipped roofs, clad in clay tile; the eaves are flush. Some of these volumes are deep enough that the house appears to have a full gabled roof; however, all properties have a flat roof with parapet wall to the rear. Several contributors retain their original clay tile coping. One contributor has a Mission-style parapet wall at the front elevation; it is unclear whether this feature is original.

Changes in Roofline

Removal of clay tile coping is also not permitted; the clay tiles should be repaired rather than replaced. If the coping is demonstrably beyond repair, it should be replaced in kind. If the clay tile coping has already been removed, replacing it with a compatible clay tile is strongly encouraged. Not only is it a more historically appropriate and attractive finish to the parapet, the coping also provides a measure of protection to the roofline and helps to deflect water away from the building.

Please see Chapter 2 for guidance on minor alterations to the roof, such as repairs, re-roofing, or installing equipment including solar panels and satellite dishes. (Continued next page.)



The historic roofline of a contributor should always be retained. An entirely new roofline, indicated with a red X, would drastically alter the appearance of the building.

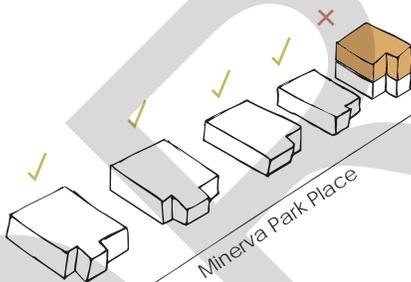
Changes in Roofline, Continued



Clay tile coping should remain around a parapet (left); it should not be replaced with metal flashing (center) or removed entirely (right).

Rooftop/Upper Story Additions

Rooftop or second floor additions are not permitted within the Minerva Park Place Historic District. The contributing properties in the district are single-story, modest worker's cottages on small lots. The addition of another story would be highly visible from the street and would disrupt the visual cohesion of the district.



Second story additions, indicated with a red X, would disrupt the visual cohesion of the Minerva Park Place district.



This second-story addition (shaded orange) is highly visible from the street and changes the overall scale of the original, single-story Spanish Colonial Revival home.



Front Elevation

Porches and Entryways

The most predominant porch style is an enclosed, projecting entryway with one or two arched openings that create a vestibule sheltering the front door (A). The other entry types include entrances that are recessed within a shallow, projecting volume (B), and flush entry doors sheltered underneath a small projecting pent roof (C).

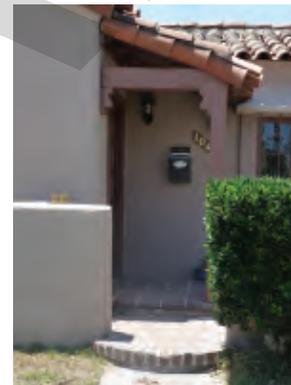
Porches and entryways are visually dominant features on a historic building, especially for residences. Even minor changes to an entryway can drastically alter the appearance of the building and could affect its historic character, especially with small modest residences such as those within the Minerva Park Place Historic District. Therefore, careful attention should be made when proposing alterations to the porch or entryways. As all the residences within the Minerva Park Place Street Historic District are designed in the Spanish Colonial Revival Style, any new features such as railings, paving materials, etc. should be compatible with the Spanish Colonial Revival style outlined in Chapter 4, Section 16.



(A)



(B)



(C)

Porch Enclosure

All of the porches in the Minerva Park Place Historic District are small in scale and centered on the primary elevation. As such, enclosing the porch area within this district would drastically alter the appearance of contributing buildings and affect their historic character. Damaging or obscuring historic, character-defining features for the small amount of space created by an enclosed porch is rarely justifiable and is not permitted.

Porch Supports and Railings

The majority of properties in Minerva Park Place district do not have porch supports or railings; however, where they do exist, porch elements should be maintained and protected, with an emphasis on repair over replacement. If a bracket or support is damaged beyond repair, replace such feature in kind with a new bracket or support that matches the original in material, size, shape, and dimension. (Continued next page.)



Porch Supports and Railings, Continued

If the majority of a historic railing is demonstrably damaged beyond repair, railings should be replaced in kind as accurately as possible, while taking into account contemporary safety measures such as 42" minimum height and more closely spaced balusters. Use the material, profile, and overall shape of existing balusters, newel posts, handrails, and base rails to guide a new, safer design.

The introduction of railings where they did not exist historically is not recommended; however, should the addition of a railing be required for egress or safety, please see the Spanish Colonial Revival style guide in Chapter 4, Section 16 for a compatible option.

Porch Floor, Steps and Foundation

All of the contributing residences in the Minerva Park Place Historic District have a set of painted, scored concrete steps leading to the porch floor. The concrete steps and porch floor should remain. Installing new steps, or covering the existing steps with an incompatible material or texture such brick or fieldstone veneer on a street-facing elevation is not recommended. In the Minerva Park Place Street Historic District, the application of Spanish-style pavers in place of the historic scored concrete is acceptable.



The porch foundations within the Minerva Park Place Historic District are all covered in stucco. The foundations should not be covered with any other material and should be repaired in accordance with minor repairs outlined in Chapter 2.

Balconies, Balconettes and Architectural Projections

The contributing buildings within the Minerva Park Place Historic District do not have balconies or balconettes, nor are these features compatible with the modest Spanish Colonial Revival style homes. These features are typically—and logically—associated with multi-story buildings, and the contributing properties in the district are just one story in height. Adding a balcony or balconette to any elevation of a one-story building is not recommended.

Installing a bay window or other, similar projecting feature to the sides or front of the buildings in the Minerva Park Place Historic District is not permitted, as these features would drastically alter their appearance. Changes to the rear elevation are much less visually obtrusive, and the construction of a bay window or similar architectural projection would be acceptable, though not highly recommended, provided that it is not visible from the street. Avoid damaging or penetrating the existing historic or character-defining features, even on the rear.



Additions

Several of the residences in the Minerva Park Place Historic District already have additions to the rear; however, these additions are no taller than the original building and are not highly visible from the street.

Front Additions

None of the properties in the Minerva Park Place Historic District have additions to the front elevation. Adding a new addition to the front elevation of a contributing building within the district could cause a drastic change to the historic character of the building. Furthermore, an addition to the front could alter the existing setback from the street and disrupt the visual continuity of the district. Therefore, front additions are not permitted.

Consider constructing additions, if necessary, on elevations that are less visible from the street; within the Minerva Park Place Historic District, the most appropriate location to add an addition would be to the rear of the residence.

Side and Rear Additions

Side additions are generally less visually obtrusive than front additions; however, the buildings within the Minerva Park Place Historic District have a shallow setback from the street and no side fencing, leaving most side elevations visible from the street. Side additions are not recommended in the Minerva Park Place Historic District.

Adding a single-story addition to the rear of a residence is acceptable for all properties within the Minerva Park Place district, provided that it is sensitively designed, and not highly visible from the public right of way.

The size and massing of the addition should be compatible with the historic character of the residence. It should not be taller than the existing roofline. As the properties in the Minerva Park Place district have flat rooflines, taller additions would be highly visible from the street and would disrupt the district's visual continuity.

The addition should not envelop or be larger than the existing building. Additions should always add to the existing footprint of the building; new construction should never involve removal of a portion of the original residence. Additions to the residence should not form a connection between the primary building and detached garage, in order to maintain the historic spatial relationship of the site, unless the property owner is able to demonstrate that there is no other feasible option to increase living space. (Continued next page.)



Additions should be smaller than the primary building, and arranged towards the rear. Any additions should not be visible from the public right-of-way (indicated with a red X).

Side and Rear Additions, Continued

All rear additions should be compatible with, yet distinguishable from, the original building style. Design your rear addition to be compatible in size, massing, material, and color. For example, if your house is clad in wood clapboards, consider a thinner or wider horizontal wood board to differentiate the addition. The addition should always be smaller than the existing building, and should be harmonious with the historic design. The original building materials, style and detailing should not be duplicated exactly so that the new portion is not mistaken for an original portion of the residence in the future. In the same vein, other historic styles should not be duplicated, either. This can create what is called a false sense of history.



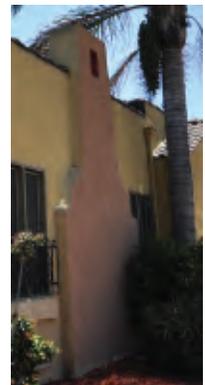
This addition (indicated by dashed line) is reasonably sized. It is located on a rear addition, away from the public right-of-way, and is no higher than the original roofline. The addition is connected to the primary residence by a "hyphen," or narrow corridor. New multi-light wood windows were used on the addition, and had a different profile on the sill. Overall, this addition is compatible with the original residence. (Note that composition shingles are not typically permitted on a Spanish Colonial Revival style residence. In this case, they likely replaced wood shingles.)

All additions should be planned and constructed carefully so that they do not cause damage to the historic building—one way to think about it is: if you were to someday remove the new addition, would the original building remain intact? Note that if your proposed addition is limited to a total of 250 square feet in size or less, then the project may be reviewed by Planning Bureau staff without further review. While larger additions may be possible, they will be subject to further review by the Cultural Heritage Commission.

Chimneys

Only one contributing property has a chimney, clad in stucco. Adding a chimney to a building without sufficient evidence to suggest that it existed historically is not recommended. Removing an original chimney is also not recommended; inactive chimneys may be sealed, so long as their external appearance is retained. Changing the size, height, or dimensions of the chimney is not recommended. The stucco covering a chimney should be treated the same as the exterior cladding, as described below, and should not be covered with any other material.

If a chimney is demonstrably beyond repair, replacement should be in kind, or compatible with the design, size, scale, and materials of the building. If a damaged chimney must be removed, it should be replaced; removing a historic feature and neglecting to replace it, whether in kind or with a compatible design, is not recommended.

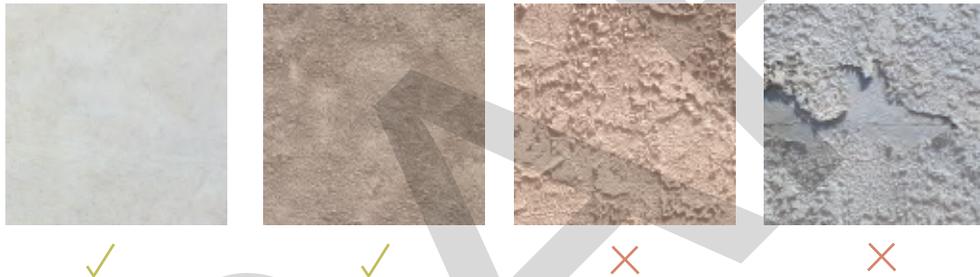




Exterior Cladding

As cladding covers the majority of a building, even minor changes can drastically alter its historic appearance. Please see Chapter 2 for additional information on proper repairs and maintenance to stucco cladding.

All of the contributing buildings in the Minerva Park Place Historic District are clad in stucco. The majority of the contributing residences retain smooth, historically accurate stucco, while others have been covered with less compatible, heavily textured stucco. As the existing non-original stucco comes to the end of its useful life, replacement with a historically appropriate smooth textured stucco finish is encouraged, rather than replicating the existing texture.



Stucco with a smoother finish (left) is more historically compatible than contemporary, heavily textured stucco finishes that are sprayed or troweled on (right, indicated with red X). The far right image even shows the non-original stucco spalling away, revealing the smoother finish underneath.

If the stucco is demonstrably beyond repair, it should be replaced in kind with a visually similar material. Wholesale replacement of the exterior cladding on elevations visible from the street is not recommended when the new material is substantially different from the existing material. For example, replacing historically smooth stucco with new stucco that has a heavy, troweled texture would alter the historic character of the building. Replacing the cladding on a contributing building in the Minerva Park Place Historic District with a new material that is not stucco, such as wood or brick, is not permitted. These materials would not be compatible with the historic nature and architectural style of the district contributors.

Covering or replacing the entirety of exterior cladding is often used as a means to “fix” or obscure prior cracks, repairs, patches, damage, or deferred maintenance. Without identifying the underlying cause of deterioration, which could be an early warning sign, this approach can cause more damage to the property in the long run. In some instances, moisture can even get trapped between layers of stucco, causing the building to rot from the inside out. Therefore, adding a second layer of cladding over damaged or deteriorating cladding without investigating and remedying the underlying cause of such damage is not recommended.

Contemporary or non-historic building materials such as vinyl, asbestos and aluminum siding are often marketed by vendors as being durable and low maintenance. However, despite the wide variety of colors, textures and sizes available in these materials, they are visually incompatible with most historic architectural styles. (Continued next page.)

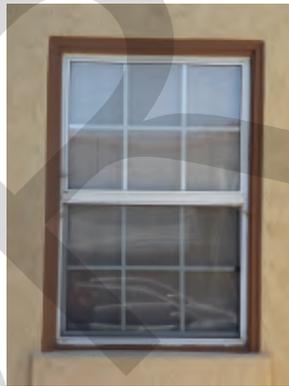
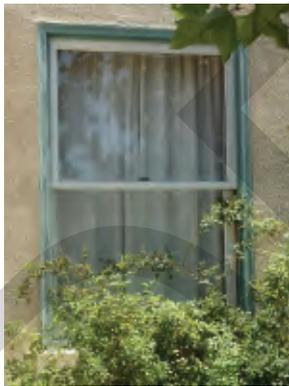
Exterior Cladding, Continued

These materials are not appropriate for the historic properties within the Minerva Place Historic District. Therefore, installation of these materials in place of historic fabric is not permitted. When properly maintained, historic siding or in-kind replacement of historic siding materials are just as durable and economically sound as any modern alternative. The fact that these historic cladding materials remain on so many old buildings is proof of their potential longevity!

Windows

There have been a number of window replacements in the Minerva Park Place Historic District; however, there are enough historic windows remaining to guide future restoration of incompatible windows. As a general rule, historic windows should always be regularly maintained and protected. There is always an emphasis on repair over replacement. Replacement should really only be considered when the window is demonstrably beyond repair. Please see Chapter 2 for more information on the proper maintenance and repair of historic windows, as well as information on security measures and energy efficiency.

Window Replacement



Historically compatible windows in their original openings (left) are always preferable to non-original replacements (right).

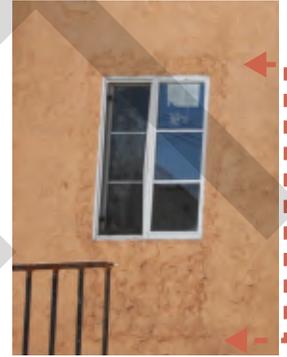
In the event that an original wood window on any elevation needs to be replaced, it should be demonstrably beyond repair and replaced in kind. The City of Long Beach does not allow the installation of new incompatible windows—such as vinyl or aluminum—on historic buildings, even these windows presently exist. In the event that an existing, incompatible window requires replacement on a contributing building, owners will be required to replace it with a wood window that is compatible with the Spanish Colonial Revival style, as outlined in the Style Guide in Chapter 4, Section 16.

The size of the window opening should not be altered to accommodate the new window; rather, the window should be sized to fit the historic window opening.

New Window Openings

Changing the size, shape, number, or location of window openings, especially on elevations visible from the street, is not permitted. It would drastically alter the appearance of the building and affect its historic character.

Creating new window openings on the rear elevation not visible from the street is acceptable, but not necessarily recommended. Property owners are encouraged to retain the original window opening sizes and locations on all elevations. If a window opening has been previously enlarged or altered, the property owner is encouraged to restore the window opening to its original size, using references such as historic photographs or other remaining windows on the building as evidence.



Changing window openings can leave "scars" on the exterior of a building. Red arrows indicate the original extent of the opening.

Window Screens

Window screens may be added to the primary elevation if needed, provided that they are sensitively designed and carefully installed. Window screens sized to match the original windows that have narrow, wood frames and are painted to correspond with the building's trim, as shown to the right, are recommended. The screen itself should be relatively transparent, and should not obscure the window behind it. Retractable screens may also be acceptable. Metal or vinyl framed window screens are not recommended.



This wood window screen, painted blue, does not detract from the historic window behind it.

Security Bars

Installing security bars over windows is generally not recommended; however, in instances where additional security becomes necessary, property owners may consider a Spanish Colonial Revival style window grille that does not fully obscure the window behind it. Window grilles are often seen on Spanish Colonial Revival style architecture. With a sensitive design, these grilles could compatibly be used as a security measure in the Minerva Park Place Historic District without diminishing the overall character of the historic district. Other compatible security measures may include interior locks or wireless security sensors, where feasible. This equipment should be installed carefully so as to avoid damaging historic windows, even from the interior. Damage, especially to wood windows, may leave the window susceptible to deterioration. For additional information on implementing historically-compatible security measures for your home, please see Chapter 2.

Adding window screens, security bars, awnings, or other window features to the rear is acceptable as long as they are not visible from the public right of way. (Continued next page.)

Security Bars, Continued



Consider a wrought iron or metal design that does not obscure the window beneath it. All of the above examples would be compatible with a Spanish Colonial Revival style home, and could be used as a more historically compatible way to provide extra security as needed.

Awnings

It may be appropriate to install window awnings on a Spanish Colonial Revival property; however, homeowners are encouraged to consider other methods of increasing shade or privacy, including interior shutters or window treatments, before installing exterior awnings. Please refer to the Spanish Colonial Revival Style Guide in Chapter 4, Section 16 for additional information on awnings.

Doors

The majority of front doors in the Minerva Park Place district are obscured behind metal security doors. Those that are visible consist of a paneled wood door, but few of the doors appear to be historic. As a general rule, historic doors should always be regularly maintained and protected. There is always an emphasis on repair over replacement. Replacement should really only be considered when the door is demonstrably beyond repair. For more information on proper maintenance and repair of historic doors, energy efficiency, etc., please see Chapter 2.

Door Replacement

In the event an existing door needs to be replaced, it should be replaced with a door that is compatible with the Spanish Colonial Revival style. Please see the Spanish Colonial Revival Style Guide in Chapter 4, Section 16 for further information on compatible doors. The size of the door opening should not be altered to accommodate the new door; rather, the door should be sized to fit the historic door opening. Likewise, altering the door opening to accommodate features such as sidelights, fanlights, or transoms that did not historically exist is not recommended.



Generally, door replacement on secondary elevations is less visually obtrusive than replacing doors on the primary elevation. Replacing doors on the side and rear elevations is acceptable, but the use of compatible doors is still encouraged.

New Door Openings

Changing the size, shape, number, or location of door openings, especially on elevations visible from the street, is never recommended, and would drastically alter the appearance of the building and affect its historic character.

Creating new door openings on the rear elevation not visible from the street is acceptable, but not necessarily recommended. Property owners are encouraged to retain the original door opening sizes and locations on all elevations; however, the addition or relocation of an exterior door on rear elevations may be acceptable in order to accommodate a new single-story addition. All additions should adhere to the guidelines provided earlier in this section.

Storm and Screen Doors

The installation of a storm or screen door on the primary elevation for light or ventilation may be acceptable, as long as the door is sensitively designed and carefully installed. Storm or screen doors that are sized to match the original door, have narrow, wood frames, and are painted to correspond with the building's trim or primary door are recommended. The screen or glass itself should be relatively transparent, and should not obscure the door behind it. Metal-framed screen or storm doors are not recommended.



Wood-framed screen doors detract less from the historic door behind it than their metal-framed counterparts.

Security Doors

Adding metal mesh security doors that obscure the front door is generally not recommended. However, in the event that additional security becomes necessary, consider a security door or gate that does not fully obscure the door behind it. These features should be carefully installed so as not to cause any unnecessary damage, and the property would remain essentially unchanged if it were removed in the future. Adding new locks, hardware, or deadbolts should be installed carefully by an experienced practitioner to avoid causing damage to the primary door. Strike plates and similar hardware should also be installed carefully so as to avoid unnecessary damage to the door frame.

Please see Chapter 2 for additional information about more historically sensitive ways to provide security measures for your home. Adding screen doors, security bars, or other door features to the side and rear is acceptable as long as they are not highly visible from the public right of way and they meet all City codes.



Security doors and gates that are both compatible with the Spanish Colonial Revival style and do not obscure the door beneath are much less visually obtrusive than metal mesh security doors (bottom row). Consider a style like one of those pictured in the top row, and indicated with a green check.



Decorative Elements

The Minerva Park Place Historic District is characterized by its uniform workers' cottages, which were historically quite modest and did not have much in the way of decoration or ornamentation. The decorative elements that do exist include attic vents, niches, and clay tile coping. These features should be retained and repaired as needed, and replaced in kind if they are demonstrably damaged beyond repair. Adding other decorative elements such as shutters, inlaid tile, or other applied architectural decoration is not recommended, as it would not be compatible with the historic setting of the district.



Non-structural and non-permanent decorative elements such as flags, plant pots, hanging plants, bird baths, etc., are acceptable as long as they do not damage, obscure, or overly detract from the character defining features of the historic property or district.

Alterations to Non-Contributing Buildings

All of the buildings in the Minerva Park Place Historic District are currently considered contributing to the historic district; therefore, this section is not applicable.

New Infill

There are no vacant lots within the Minerva Park Place Historic District. Demolishing a contributing property in order to construct a new building is not permitted.

In the event that a contributing building is intentionally altered, damaged, or demolished, the property owner could be subject to fines and penalties, and may be required to replace the damaged components in kind. These penalties may also apply to demolition by neglect, a process in which a property owner attempts to circumvent regulations for historic properties by knowingly and purposefully deferring all maintenance and repair—neglecting the building—until demolition becomes necessary for safety.

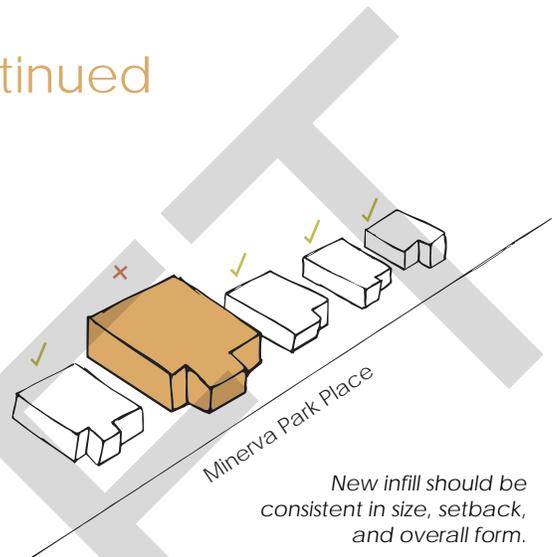
If an accidental fire results in damage to a contributing property, the homeowners should replace the damaged elements in kind. In the unlikely event that a contributing property is completely lost to an accidental fire, the property owners will not be expected to recreate the historic property unless desired; however, the replacement property should follow these guidelines in order to remain harmonious with the surrounding district. (Continued next page.)



New Infill, Continued

This replacement property will not be considered a contributor to the district. Lastly, if a non-contributing property is demolished, any new construction in its place will be expected to follow these guidelines.

While the guidelines for new construction within a district are not as prescriptive as those for historic buildings, new construction is expected to reasonably “blend in” with its surroundings, where feasible. New construction should be generally compatible with the existing contributing buildings in size, scale, setback, height, massing, design, materials, and architectural style to protect the overall character of the historic district.



New construction is not required to exactly match the contributing buildings. In fact, matching an existing design too closely is discouraged, in order to prevent the new building from being mistaken for an original historic building in the future; however, the new construction should generally take cues from the contributing building to fit into the district more harmoniously.

The contributing residences within the Minerva Park Place Historic District are all modest, Spanish Colonial Revival houses with flat roofs, stucco cladding, clay tile accents, and minimal ornamentation. They are primarily one story in height with a shallow setback from the street. Property owners planning new construction should consider including features like a flat roof, clay tile accents, smooth stucco cladding, arched openings, and rectangular windows in their design. Owners should anticipate conforming to the prevailing height and setback in the district, especially those contributing properties immediately adjacent to the subject property.