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## Eliot Lane Historic District Design Guidelines

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## District Significance

The Eliot Lane Historic District was established in 2003. The district is significant as an example of affordable, working class residences constructed during an economic boom in Long Beach. As employment opportunities increased, so did the demand for housing, resulting in small-scale residences like those found in Eliot Lane. The houses are primarily Spanish Colonial Revival in style, including seven different house types used by the builders, Boland & Smith. All of the homes were constructed in 1923, which serves as the period of significance.

- Established by ordinance on September 9, 2003 (Ord. No. C-7870)
- 30 Contributing Properties, 0 Non-Contributing Properties
- Period of Significance: 1923



## District Description

The Eliot Lane Historic District is located in southeast Long Beach on Eliot Lane. Eliot Lane is a narrow one-lane, one-way street oriented north-to-south between Colorado Street and 3rd Street. The street is approximately 18' wide. Apart from a few small bungalows with Craftsman style influences, the district is made up of one-story Spanish Colonial Revival cottages.

The street is outfitted with squared, concrete curbs with sloping curb cuts at driveways and approximately 3' wide concrete sidewalks. The corners of the narrow three-foot sidewalk do not have crossing cuts at the corners, but are reinforced with metal straps. Between the sidewalks and the street there is a very narrow—approximately 14" wide—planting strip that is primarily planted with grass. There is parallel street-parking on one side of Eliot Lane, and the residences have side driveways and detached garages for vehicular accommodation.

Overall, the residences are consistent in their massing, style and setback, almost completely made up of one-story Spanish Colonial Revival cottages. The majority of the cottages are clad in stucco with flat, parapeted roofs lined with clay tile coping. The Craftsman-influenced bungalows have front or side-gabled roofs with composition shingles.

Common alterations within the district include textured stucco and new windows, occasionally within new window openings.





## Site Layout

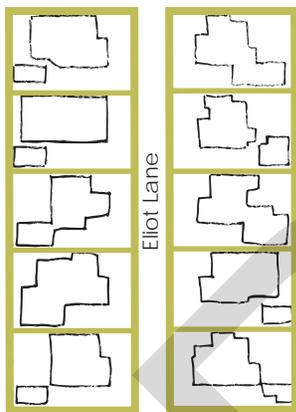
The Eliot Lane Historic District is primarily comprised of modest Spanish Colonial Revival single-family residences. There are a few small bungalows with Craftsman style influences. The properties are arranged near the fronts of their lots with a uniform setback, and take up much of their street frontage. This leaves just enough room on the small lot for each contributor to have a detached garage to the rear. Side driveways provide access to the garages.

The residences are uniform in style, height, massing, and roof profile, giving this small historic district a distinctive feel that differentiates it from the surrounding neighborhoods.

### Lot Size

The lot sizes in the Eliot Lane Historic District are all small and rectangular, approximately 30' by 60' with the narrower end facing the street. Any change in lot size is not permitted.

Currently, there is a contributing single family residence on each lot. Combining lots together could result in the loss of a district contributor, or create a disruption in the visual continuity of the district. Lot splitting is not permitted by the City's zoning laws. Although in some neighborhoods it is possible to add a second dwelling to the rear of the primary residence, the modest lot sizes in the Eliot Lane Historic District leave no room to for a secondary dwelling.



Lots sizes in Eliot Lane are very uniform.

### Ancillary Buildings

Each contributing property within the Eliot Lane Historic District is occupied by a single-family residence located near the front of the lot, and has a side driveway leading to a modestly sized, single-car detached garage to the rear of the lot. Some garages have been expanded or attached to the primary residence with subsequent additions.

Small, new ancillary buildings to the rear may be appropriate; however, it should be noted that these very small lots do not lend themselves to additional buildings, and new construction may not be possible. If a new ancillary building is possible, any new construction should be appropriate to the size of the backyard and consistent with other City setback requirements. Any new construction should not be highly visible from the street, and should be compatible in size, scale, and design to the primary building. (Continued next page.)



Many homes on Eliot Lane already have detached garages.



## Ancillary Buildings (Continued)

In the Eliot Lane Historic District, consider flat roofs with Spanish clay tile accents, stucco cladding, and rectangular openings for ancillary buildings to Spanish Colonial Revival properties. An ancillary building to a Craftsman influenced style on Eliot Lane would be compatible with a gabled roof with open eaves and shingles, wood siding, and rectangular openings.

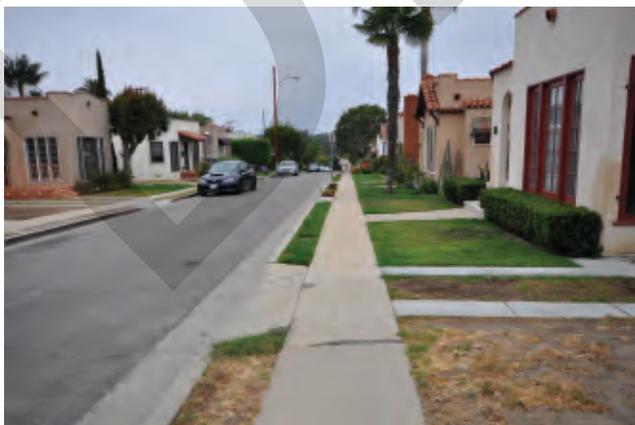
The ancillary building should be constructed in such a way that it does not obscure or damage existing character-defining features or structures. Adding a new building or feature that would require removal of an existing, historic building or feature is never recommended. For example, removing a historic detached garage to replace it with a new garage would not be appropriate.

Existing detached garages may be expanded to the rear to accommodate larger, contemporary vehicles; however, many of the garages in the Eliot Lane Historic District are already built to the plot line. If additional space is needed, expanding the width of detached garage to one side may be acceptable, as long as the addition is compatible in design and materials, and is not highly visible from the public right-of-way. Historically detached garages should not be attached to the primary building so that its original relationship to the site is maintained, unless the property owner is able to demonstrate that there is no other feasible option to increase living space.

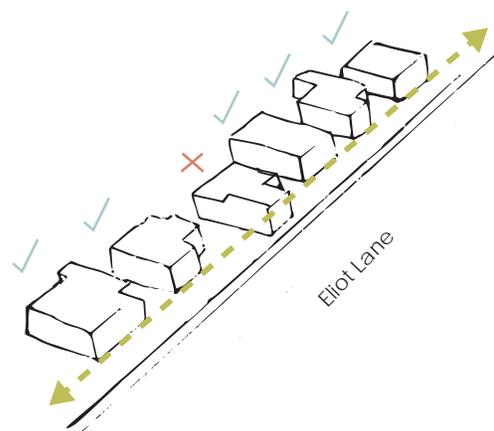
## Setback

The contributors to the Eliot Lane Historic District have a consistent setback from the street of approximately 15'.

Any change to the setback from the street on the primary elevation would cause a disruption in the visual continuity of the district, and is not recommended. Furthermore, a change in setback may not be permitted by the City's zoning code.



The existing setback in the Eliot Lane Historic District is quite uniform.



Altering the existing setback (indicated with a red x) could cause a visual disruption in the district.



## Automobile Access

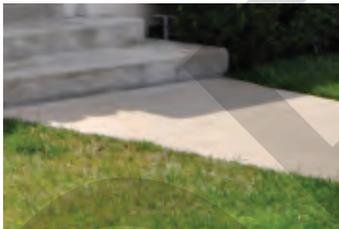
Each property within the Eliot Lane Historic District has a side driveway that leads to a detached garage to the rear of the lot. Driveways should not be relocated. Some properties still retain their historic, dual-ribbon concrete driveways, while others have been filled in or paved over entirely with a solid concrete slab. Retaining the location of existing driveways is recommended, as this will preserve the building's historic relationship to its site, and maintain the visual continuity of the district.

The driveways in the district are primarily poured concrete, either in solid slabs or dual ribbons. Repaving the driveway with a different material, such as brick, flagstone, or pavers without sufficient evidence that these materials existed historically is not recommended. When an existing solid slab driveway or non-original material such as fieldstone or brick has reached the end of its useful life, consider restoring the original appearance of a dual ribbon driveway rather than replacing or repairing the existing driveway. The space between the dual ribbons may be filled with low plantings such as grass, or gravel such as crushed quartz or river rock.

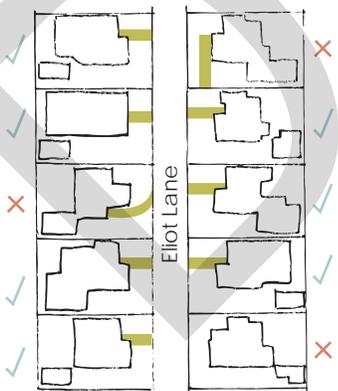


Changing the shape or width of the existing driveways (indicated with red X) can disrupt the visual cohesion of the neighborhood.

## Walkways



Each of the properties in the Eliot Lane Historic District has a centralized walkway leading to the front porch or entry from the sidewalk. Historically, these walkways were smooth concrete with scored joints, although some have been replaced with new materials, including interlocking pavers and fieldstone. The location of the centralized walkways should be retained. The addition of a secondary walkway from a side driveway to the front door is acceptable, so long as the original, centralized walkway is retained and the new walkway is executed in a compatible material. The most appropriate material for the Eliot Lane Historic District is smooth concrete with scored joints. This will help to maintain the visual cohesion of the district. This approach can also be used to address handicap accessibility.



Like driveways, retaining the original material (top), placement and path of the walkways (indicated with blue checkmarks, bottom) will help maintain visual cohesion.

Although it is more important to retain the location of the walkway, altering the historic width or material of the walkway is generally not recommended. Removing the historic smooth concrete and replacing it with a contemporary material such as fieldstones or a semi-permanent material such as gravel or dirt would not be compatible with the historic character of the district. (Continued next page.)



## Walkways

Although not recommended, replacing the walkway of a Spanish Colonial Revival contributor with Spanish style pavers or interlocking pavers may be acceptable; however, owners are strongly encouraged to retain the smooth concrete walkways where they exist. In instances where the walkway has already been altered, owners are encouraged to consider restoring the historically compatible smooth concrete when the non-original material has come to the end of its useful life.



(Left to right) Spanish style pavers, interlocking pavers, and unpainted concrete are acceptable materials for walkways for Spanish Colonial Revival style contributors. Craftsman-influenced contributors should have smooth concrete walkways.

(Left to right) Fieldstone, brick, and gravel are not recommended materials for walkways for the architectural styles in Eliot Lane.

## Porte Cochères, Trellises, and Decks

There are no existing trellises or decks on the primary elevations within the district; therefore, they are not characteristic of the district and should not be added to a contributing property. Changes to the rear elevation are much less visually obtrusive, and the construction of a trellis, deck, or similar feature to the rear elevation would be acceptable, provided that it is not visible from the street.

New features should not obscure or damage existing character-defining features or historic fabric such as original, character defining windows, porch features, chimneys, etc. Adding a new feature that would require removing an existing historic or character defining feature is never recommended; for example, it would not be appropriate to remove an existing walkway that existed historically to add a new patio and trellis.

## Landscaping

Each of the properties in the Eliot Lane Historic District has a shallow front yard, approximately 10' in depth. The majority of yards consist of grass lawn, although some have been replaced with xeriscaping. Many properties also have small gardens, shrubs, and mature trees. A narrow, grassy planting strip in front of each building separates the sidewalk from the street.

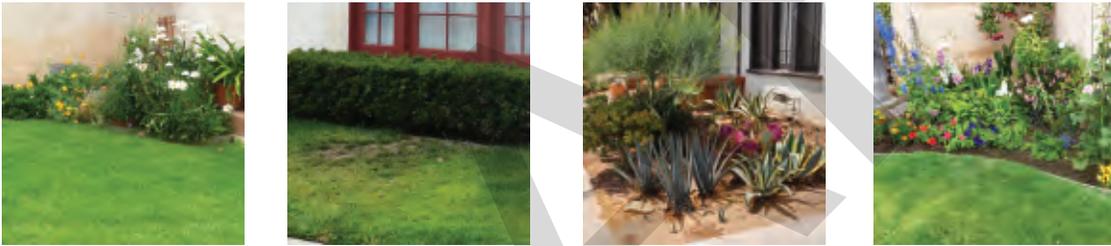
Changes to the landscaping are acceptable, so long as the existing planting area, yard configuration, and layout are retained. Drought-tolerant landscaping is acceptable within the existing planting area. Hardscaping or otherwise paving the front yard with materials such as concrete, fieldstone, bricks, or pavers is not permitted. (Continued next page.)



## Landscaping, Continued

In most cases, adding new garden or planter walls where they did not exist historically is not recommended on the front elevation; however, several contributors have existing gardening edges or planters in the front yard. Adding a gardening edge or planter may be acceptable so long as they are low-profile, of a compatible material, and do not obscure or damage any character-defining features of the primary elevation.

Consider removing or trimming excessively overgrown shrubs, bushes, or landscaping that may obscure or highly detract from the visibility of a contributing building within the district to maintain the overall cohesive feel of the historic district.



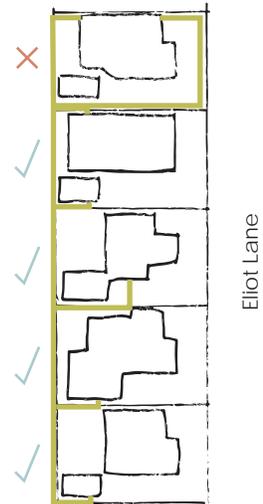
Examples of existing landscaping within the Eliot Lane district.

## Fencing

Front yard fencing is not a character defining feature of the district. Some properties do have low retaining walls, but these are necessitated by the lot slope. Existing and necessary retaining walls may be retained and repaired or replaced as needed, but new retaining walls should not be added within the district.

Generally, installing a new fence on the street-facing elevation is not recommended without sufficient documentation to indicate that it existed historically, or if the surrounding properties in the district do not have front fencing. As none of the properties in the district have front fencing, the introduction of this feature would disrupt the visual continuity of the district and is not recommended.

Rear and side fencing between properties is acceptable. Height restrictions may apply, and vary by location. Appropriate fencing materials include five to six-foot-high solid wood vertical planks, **dog-eared** fences, **board and batten** fencing or other solid wood fencing. The use of solid stucco block walls is acceptable at the rear of the property.

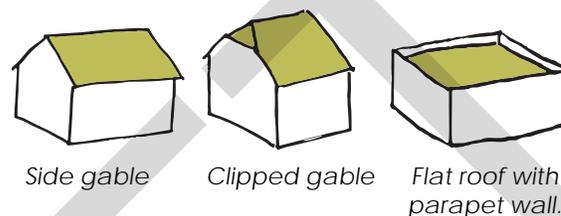


Fences should be located to the rear or sides of the property.



## Roof

All of the contributors in the Eliot Lane Historic District are Spanish Colonial Revival or Craftsman in style. The Spanish Colonial Revival roofs are flat with parapet walls, and most retain their historic clay tile coping along the edge of the parapets. Most of the entryways are sheltered by shallow, pent roof overhangs clad in clay tile. Some contributors have a gabled projection clad in clay tile instead of a pent roof overhang. Clay tile should always be retained, and replaced in kind. Composition shingles are not acceptable on a Spanish Colonial Revival style building.

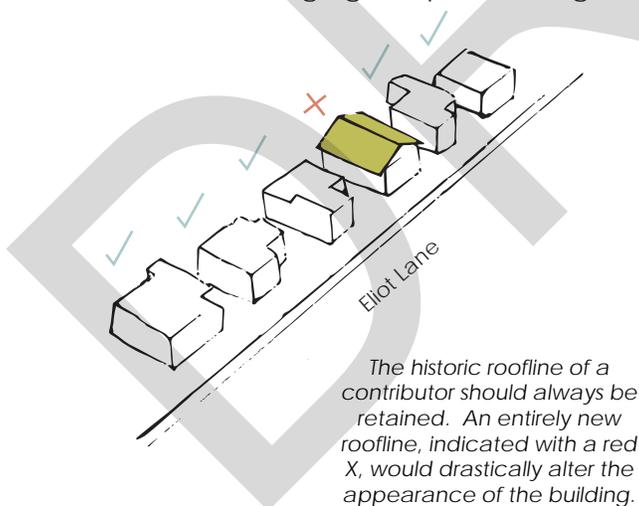


Craftsman-influenced roofs in the Eliot Lane Historic District are moderately pitched gables with composition shingles and open eaves. Composition shingles may be retained and replaced with new composition shingles as needed. Entries are either recessed under the primary roofline, or sheltered by a shallow, gabled overhang.

Please see Chapter 2 for guidance on minor alterations to the roof, such as repairs, re-roofing, or installing equipment including solar panels and satellite dishes.

## Changes in Roofline

Radically changing the overall shape of the historic roofline—i.e., adding a gabled roof to a flat roofline, or changing the pitch of a gabled roof is not permitted.



Removal of clay tile coping is also not permitted; the clay tiles should be repaired rather than replaced. If the coping is demonstrably beyond repair, it should be replaced in kind. If the clay tile coping has already been removed, replacing it with a compatible clay tile is strongly encouraged. Not only is it a more historically appropriate and attractive finish to the parapet, the coping also provides a measure of protection to the roofline and helps to deflect water away from the building.

Please see Chapter 2 for guidance on minor alterations to the roof, such as repairs, re-roofing or installing equipment, including solar panels and satellite dishes. (Continued next page.)

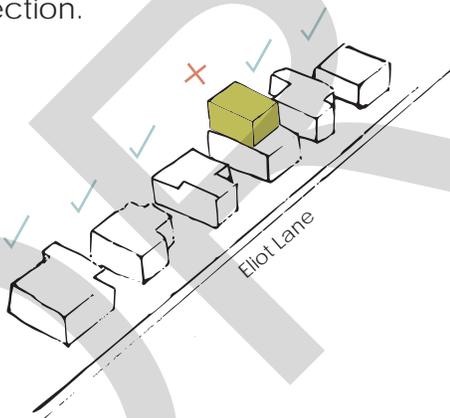
## Changes in Roofline, Continued



Clay tile coping should remain around a parapet (left); it should not be replaced with metal flashing (center) or removed entirely (right).

## Rooftop/Upper Story Additions

Rooftop or second floor additions are not permitted within the Eliot Lane Street Historic District. All properties in the district are single-story homes, and the addition of another story would be highly visible from the street and would disrupt the visual cohesion of the district. Prioritize increasing the size of your home by constructing compatible additions to the rear, as described later in this section.



Second story additions, indicated with a red X, would disrupt the visual cohesion of the Eliot Lane district.



This second-story addition (shaded green) is highly visible from the street and changes the overall scale of the original, single-story Spanish Colonial Revival home.



## Front Elevation

### *Porches and Entryways*

The most common entryway on Spanish Colonial Revival style properties is an enclosed, projecting entryway with one or two arched openings that create a vestibule sheltering the front door (A). One of the arched openings may be enclosed by a gate. The other styles include a flush entrance sheltered underneath a small projecting pent roof (B) and a projecting volume with a flush entry door that leads to an interior vestibule (C).

Other contributing residences have recessed porches (D) or flush entrances sheltered by a shallow, projecting porch roof (E)

Porches and entryways are visually dominant features on a historic building, especially for residences. Even minor changes to an entryway can drastically alter the appearance of the building and could affect its historic character, especially with small modest residences such as those within the Eliot Lane Historic District. Therefore, careful attention should be made when proposing alterations to the porch or entryways.



(A)



(B)



(C)



(D)



(E)



## Porch Enclosure

There are a few instances of porch enclosure in the Eliot Lane Historic District. All of the porches in the district are small in scale and generally centered on the primary elevation. As such, enclosing the porch area within this district would drastically alter the appearance of contributing buildings and affect their historic character. Damaging or obscuring historic, character-defining features for the small amount of space created by an enclosed porch is rarely justifiable and is not permitted. Restoring porches that have previously been enclosed is strongly encouraged, but not mandatory.

## Porch Supports and Railings



Most properties do not have any kind of porch railing or balustrade; the introduction of railings where they did not exist historically is not recommended; however, should the addition of a railing be required for egress or safety, please refer to the appropriate style guide in Chapter 4 for a compatible option

The existing porch railings in the district consist of simple wood railings or wrought iron. The wrought iron does not appear to be original, but it is generally compatible with the Spanish Colonial Revival style and may be removed or retained as desired. Original wood railings should be retained, with an emphasis on repair over replacement. In the event that a railing is demonstrably beyond repair, it should be replaced in kind or replaced with a compatible substitute. Railings should be replaced in kind as accurately as possible, while taking into account contemporary safety requirements such as 42" minimum height and more closely spaced balusters. Use the material, profile, and overall shape of existing balusters, newel posts, handrails, and base rails to guide a new, safer design.

Porch supports are typically simple, wood posts. These features should be retained and repaired as needed. If they are demonstrably beyond repair, they should be replaced in kind or with a compatible substitute.

## Porch Floor, Steps and Foundation

All of the contributing residences in the Eliot Lane Historic District have a set of steps leading to the porch floor. These steps are typically smooth concrete with rounded edges, although there are examples within the district that have been replaced with materials such as brick or have been embellished with decorative tile. (Continued next page.)





## *Porch Floor, Steps and Foundation, Continued*

The historic concrete steps should remain, and may be painted as desired in compatible colors. Please see the appropriate style guide in Chapter 4 for compatible colors. Installing new steps or covering the existing steps and porch floor with an incompatible material or texture, such as brick, fieldstone veneer or decorative tile on a street-facing elevation is not recommended without sufficient documentation to substantiate that they existed historically.

Where these non-original materials have already been installed, consider replacing them with smooth concrete when the existing material has reached the end of its useful life. In the Eliot Lane Historic District, the application of Spanish-style pavers in place of the historic smooth concrete is acceptable, though not recommended.

The porch foundations within the Eliot Lane Historic District are either concrete or covered in the exterior cladding material. These foundations should be treated the same as the exterior cladding, as described below, and should not be covered with any other material.

## *Balconies, Balconettes and Architectural Projections, Continued*

The contributing buildings within the Eliot Lane Street Historic District do not have balconies or balconettes. These features are typically—and logically—associated with multi-story buildings, and the contributing properties in the district are just one story in height. Adding a balcony or balconette to any elevation of a one-story building is not recommended.

Installing a bay window or other, similar projecting feature to the sides or front of the buildings in the Eliot Lane Historic District is not permitted, as these features would drastically alter their appearance. Changes to the rear elevation are much less visually obtrusive, and the construction of a bay window or similar architectural projection would be acceptable, though not highly recommended, provided that it is not visible from the street. Avoid damaging or penetrating the existing historic or character-defining features, even on the rear.



*Non-original architectural projections can alter the appearance of a historic building.*

## *Additions*

Several of the residences in the Eliot Lane Historic District already have additions to the rear; none of these additions are taller than the original building and are not highly visible from the street.



## Front Additions

Adding a new addition to the front elevation of a contributing building within the Eliot Lane Historic District could cause a drastic change to the historic character of the primary elevation of the building. Furthermore, an addition to the front could alter the existing setback from the street and disrupt the visual continuity of the district. Therefore, front additions are not permitted.

Consider constructing additions, if necessary, on elevations that are less visible from the street; within the Eliot Lane Historic District, the most appropriate location to add an addition would be to the rear of the residence.

## Side and Rear Additions

Side additions are generally less visually obtrusive than front additions; however, the buildings within the Eliot Lane Historic District have such a shallow setback from the street that most side elevations are still highly visible from the street. The residences also take up the majority of their street frontage, leaving little room between properties or sufficient room for an addition. Side additions are not recommended in the Eliot Lane Historic District.

Adding a single-story addition to the rear of a residence is acceptable for all properties within the Eliot Lane Historic District, provided that it is sensitively designed, and not be highly visible from the public right of way; however, due to the small lot size, an addition may not be possible.

If an addition is possible on the lot, the size and massing of the addition should be compatible with the historic character of the residence. It should not be taller than the existing roofline. As the properties in the Eliot Lane Historic District have flat rooflines, taller additions would be highly visible from the street and would disrupt the district's visual continuity.

The addition should not envelop or be larger than the existing building. Additions should always *add* to the existing footprint of the building; new construction should never involve removal of any portion of the original residence. Additions to the residence should avoid forming a connection between the primary building and detached garage, in order to maintain the historic spatial relationship of the site, unless the property owner is able to demonstrate that there is no other feasible option to increase living space.

All rear additions should be compatible with, yet distinguishable from, the original building style. (Continued next page.)



*Additions should be smaller than the primary building, and arranged towards the rear. Any additions should not be visible from the public right-of-way.*

## Side and Rear Additions, Continued

Design your rear addition to be compatible in size, massing, material, and color, but avoid duplicating the original building materials and detailing so that the addition is not mistaken for an original part of the residence in the future. In the same vein, other historic styles should not be duplicated, either. These two approaches can create what is called a false sense of history, (i.e. it could be difficult, even for professionals, to visually determine which portion of the residence is original). For example, if your house is clad in wood clapboards, consider a thinner or wider horizontal wood board to differentiate the addition. A Spanish Colonial Revival addition may be differentiated through the use of a setback (or bump out) from the original wall plane, a lower roof height, and different windows. For example, if the primary residence has multi-light wood casement windows, consider single-light wood casement windows for the addition. (Continued next page.)



The additions to the left, while generally compatible with their respective styles, are very large and would not be permitted in the Eliot Lane Historic District. They are tall and arranged near the front of the building, making them highly visible from the street and detracting from the original, historic home. Second story additions are not permitted in the Eliot Lane District.



This addition (indicated by dashed line) is reasonably sized. It is located on a rear addition, away from the public right-of-way, and is no higher than the original roofline. The addition is connected to the primary residence by a "hyphen," or narrow corridor. New multi-light wood windows were used on the addition, and had a different profile on the sill. Overall, this addition is compatible with the original residence. (Note that composition shingles are not typically permitted on a Spanish Colonial Revival style residence. In this case, they likely replaced wood shingles.)



The wood board-and-batten siding used on this addition is similar to the original wood clapboard siding, but distinct enough to differentiate the new construction. New multi-light wood windows were used on the addition, referencing the original windows.

Altogether, this addition is very harmonious and compatible with the original residence.





## *Side and Rear Additions, Continued*

All additions should be planned and constructed carefully so that they do not cause damage to the historic building—one way to think about it is: if you were to someday remove the new addition, would the original building remain intact?

Note that if your proposed addition is not visible from the public right of way and is limited to a total of 250 square feet in size or less, then the project may be reviewed by Planning Bureau staff without further review. While larger additions may be possible, they will be subject to further review by the Cultural Heritage Commission.

## Chimneys

None of the properties in the Eliot Lane Historic District have chimneys. Adding a chimney to a building without sufficient evidence to suggest that it existed historically is not recommended.

## Exterior Cladding

As cladding covers the majority of a building, even minor changes can drastically alter its historic appearance. Please see Chapter 2 for additional information on proper repair and maintenance of exterior cladding.

Covering or replacing the entirety of exterior cladding is often used as a means to “fix” or obscure prior cracks, repairs, patches, damage, or deferred maintenance. Without identifying the underlying cause of deterioration, which could be an early warning sign, this approach can cause more damage to the property in the long run. In some instances, moisture can even get trapped between layers of stucco, causing the building to rot from the inside out. Therefore, adding a second layer of cladding over damaged or deteriorating cladding without investigating and remedying the underlying cause of such damage is not recommended.

Contemporary or non-historic building materials such as vinyl, asbestos and aluminum siding are often marketed by vendors as being durable and low maintenance. However, despite the wide variety of colors, textures and sizes available in these materials, they are visually incompatible with most historic architectural styles. These materials are not appropriate for the historic properties within the Eliot Lane Historic District. Therefore, installation of these materials in place of historic fabric is not permitted. When properly maintained, historic siding or in-kind replacement of historic siding materials are just as durable and economically sound as any modern alternative. The fact that these historic cladding materials remain on so many old buildings is proof of their potential longevity!

## Stucco Siding

The majority of contributing buildings in the Eliot Lane Historic District have stucco siding, which is characteristic of their Spanish Colonial Revival style. Many of these contributors retain smooth, historically accurate stucco, while others have been covered with less compatible, heavily textured stucco. As the existing non-original stucco comes to the end of its useful life, replacement with historically appropriate smooth textured stucco finish is encouraged, rather than replicating the existing texture.



*Stucco with a smooth finish (top row) is more historically compatible than contemporary, heavily textured stucco finishes that are sprayed or troweled on.*

If the stucco is demonstrably beyond repair, it should be replaced in kind with a visually similar material. Wholesale replacement of the exterior cladding on elevations visible from the street is not recommended when the new material is substantially different from the existing material. For example, replacing historically smooth stucco with new stucco that has a heavy, troweled texture would alter the historic character of the building. Replacing the cladding on a contributing Spanish Colonial Revival building on Eliot Lane with a new material that is not stucco, such as wood or brick, is not permitted. These materials would not be compatible with the historic nature and architectural style of these residences.

## Wood Siding

All of the wood-clad contributing residences retain their original horizontal wood clapboards. Wood siding should be retained, with an emphasis on repair over replacement. If wood siding is demonstrably beyond repair, only replace the damaged portions in kind; removal of sound building material during replacement of damaged material is not recommended. (Continued next page.)



## Wood Siding, Continued



Property owners should determine the underlying cause of the deterioration and remedy or repair the cause before carrying out the repair or replacement of siding to prevent further damage in the future.

Wood siding should never be replaced or covered with a new or different material that did not exist historically, such as brick or stucco. Where wood siding has already been replaced or covered with a new building material, property owners are encouraged to restore the horizontal wood siding when the existing cladding has reached the end of its useful life, rather than replacing or repairing the non-original material.

## Windows

There have been a number of window replacements in the Eliot Lane Historic District; however, there are enough historic windows remaining to guide future restoration of incompatible windows. As a general rule, historic windows should always be regularly maintained and protected, and repaired rather than replaced. Replacement should really only be considered when the window is demonstrably damaged beyond repair. Please see Chapter 2 for more information on the proper maintenance and repair of historic windows.

### Window Replacement

In the event that an original wood window on any elevation needs to be replaced, it should be demonstrably beyond repair and replaced in kind. The City of Long Beach does not allow the installation of new incompatible windows—such as vinyl or aluminum—on historic buildings, even these windows presently exist. In the event that an existing, incompatible window requires replacement on a contributing building, owners will be required to replace it with a wood window in a style that is compatible with the appropriate style guide in Chapter 4.

The size of the window opening should not be altered to accommodate the new window; rather, the window should be sized to fit the historic window opening.



*Historically compatible windows in their original openings (left) are always preferable to non-original replacements (right).*

## New Window Openings



Changing window openings can leave "scars" on the exterior of a building. Red arrows indicate the original extent of the opening.

Changing the size, shape, number, or location of window openings, especially on elevations visible from the street, is not permitted. It would drastically alter the appearance of the building and affect its historic character. When window openings have already been altered, it is recommended that property owners consider restoring the original openings rather than replacing a window in the new, non-original opening.

Creating new window openings on the rear elevation not visible from the street is acceptable, but not necessarily recommended. Property owners are encouraged to retain the original window opening sizes and locations on all elevations.

## Window Screens

Window screens may be added to the primary elevation if needed, provided that they are sensitively designed and carefully installed. Window screens sized to match the original windows that have narrow, wood frames and are painted to correspond with the building's trim, as shown to the right, are recommended. The screen itself should be relatively transparent, and should not obscure the window behind it. Retractable screens may also be acceptable. Metal or vinyl framed window screens are not recommended.



This wood window screen, painted blue, does not detract from the historic window behind it.

## Security Bars

Adding visually obtrusive security bars on the primary or side elevations is generally not recommended, and homeowners are encouraged to consider more compatible security measures. These may include interior locks, swing-away interior mounted security bars, and wireless security sensors, where feasible. This equipment should be installed carefully so as to avoid damaging historic windows, even from the interior. Damage, especially to wood windows, may leave the window susceptible to deterioration.

## Awnings

Awnings are not appropriate for Craftsman style residences. It may be appropriate to install awnings on Spanish Colonial Revival properties; however, homeowners are encouraged to consider other methods of increasing shade or privacy, including interior shutters or window treatments, before installing exterior awnings. Please refer to the Spanish Colonial Revival Style Guide in Chapter 4, Section 16 for additional information on awnings. Adding window screens, awnings, or other window features to the rear is acceptable as long as they are not visible from the public right of way.



## Doors

Many of the entry doors in the Eliot Lane Historic District do not appear to be original, but they are generally compatible with the Spanish Colonial Revival or Craftsman Bungalow styles. Other doors are obscured behind metal security doors, or sheltered behind more historically compatible wood framed screen doors. As a general rule, historic doors should always be regularly maintained and protected, and repaired rather than replaced. Replacement should really only be considered when the door is demonstrably beyond repair.



Please see Chapter 2 for more information on the proper maintenance and repair of historic doors.

### *Door Replacement*

In the event an existing historic or historically compatible door needs to be replaced, it should be replaced in kind, or with a door that is compatible with the building style, as outlined in the applicable style guide in Chapter 4. The size of the door opening should not be altered to accommodate the new door; rather, the door should be sized to fit the historic door opening. Likewise, altering the door opening to accommodate features such as sidelights, fanlights, or transoms that did not historically exist is not recommended.

Generally, door replacement on secondary elevations is less visually obtrusive than replacing doors on the primary elevation. Replacing doors on the side and rear elevations is acceptable, but the use of compatible doors is still encouraged.

### *New Door Openings*

Changing the size, shape, number, or location of door openings, especially on elevations visible from the street, is never recommended, and would drastically alter the appearance of the building and affect its historic character.

Creating new door openings on the rear elevation not visible from the street is acceptable, but not necessarily recommended. Property owners are encouraged to retain the original door opening sizes and locations on all elevations; however, the addition or relocation of an exterior door on rear elevations may be acceptable in order to accommodate a new single-story addition. All additions should adhere to the guidelines provided earlier in this section.

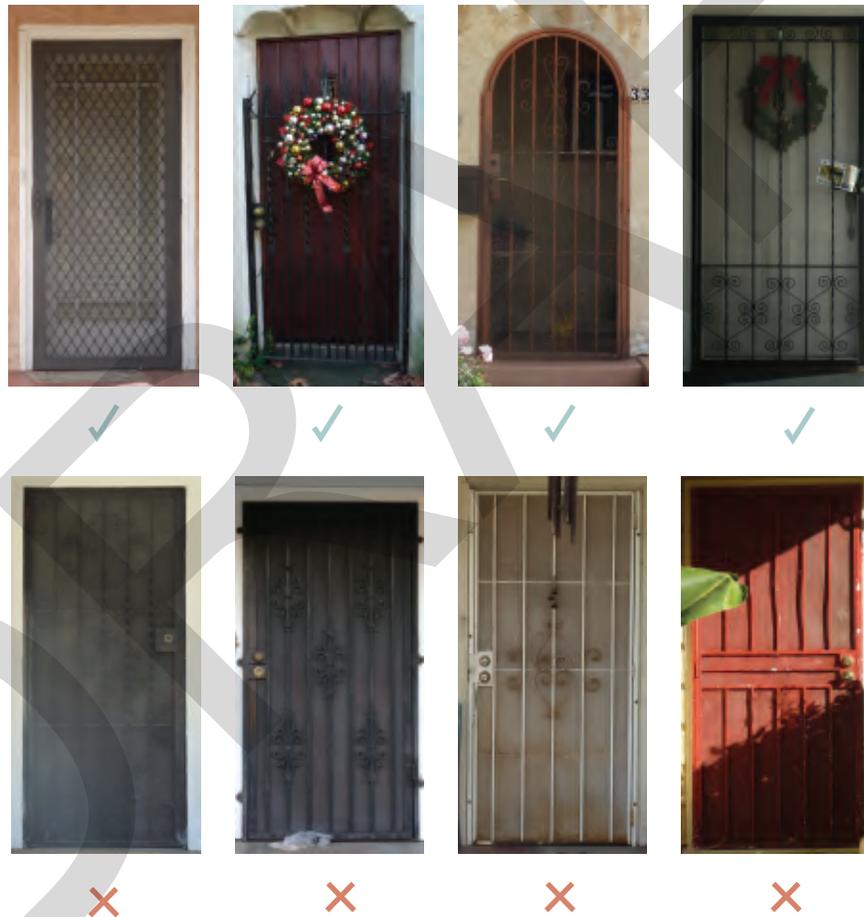
### *Storm and Screen Doors*

The installation of a storm or screen door on the primary elevation for light or ventilation may be acceptable, as long as the door is sensitively designed and carefully installed. Storm or screen doors that are sized to match the original door, have narrow, wood frames, and are painted to correspond with the building's trim or primary door are recommended. The screen or glass itself should be relatively transparent, and should not obscure the door behind it.

## Security Doors

Adding thick metal mesh security doors that obscure the front door is generally not recommended; however, for Spanish Colonial Revival style homes, a carefully designed wrought iron grille may be appropriate. Please see Chapter 2 for additional information on implementing historically-compatible security measures for your home.

Adding screen doors, security bars, or other door features to the side and rear is acceptable as long as they are not highly visible from the public right of way and they meet all City codes.



*Security doors and gates that are both compatible with the Spanish Colonial Revival style and do not obscure the door behind it (top row) are much less visually obtrusive than metal mesh security doors (bottom row). Consider a style like one of those pictured in the top row for a Spanish Colonial Revival style contributor. Craftsman-inspired properties should consider a wood framed storm or screen door.*



## Decorative Elements

The Eliot Lane Historic District is characterized by its modest, working class homes, which were historically quite modest and did not have much in the way of decoration or ornamentation. The decorative elements that do exist include clay tile attic vents as well as clay tile **coping**. These features should be retained and repaired as needed, and replaced in kind if they are demonstrably damaged beyond repair. Adding new decorative elements such as shutters, inlaid tile, or other applied architectural decoration is not recommended, as it would not be compatible with the historic setting of the district.



*Clay tile coping and attic vents.*

## Alterations to Non-Contributing Buildings

All of the buildings in the Eliot Lane Historic District are currently considered contributing to the district; therefore, this section is not applicable.

## New Infill

There are no vacant lots within the Eliot Lane Historic District.

Demolishing a contributing property in order to construct a new building is not permitted. In the event that a contributing building is intentionally altered, damaged, or demolished, the property owner could be subject to fines and penalties, and may be required to replace the damaged components in kind. These penalties may also apply to demolition by neglect, a process in which a property owner attempts to circumvent regulations for historic properties by knowingly and purposefully deferring all maintenance and repair—neglecting the building—until demolition becomes necessary for safety.

If an accidental fire results in damage to a contributing property, the homeowners should replace the damaged elements in kind. In the unlikely event that a contributing property is completely lost to an accidental fire, the property owners will not be expected to recreate the historic property unless desired; however, the replacement property should follow these guidelines in order to remain harmonious with the surrounding district. This replacement property will not be considered a contributor to the district.



## New Infill, Continued

While the guidelines for new construction within a district are not as prescriptive as those for historic buildings, new construction is expected to reasonably “blend in” with its surroundings, where feasible. New construction should be generally compatible with the existing contributing buildings in size, scale, setback, height, massing, design, materials, and architectural style to protect the overall character of the historic district.

New construction is not required to exactly match the contributing buildings. In fact, matching an existing design too closely is discouraged, in order to prevent the new building from being mistaken for an original historic building in the future; however, the new construction should generally take cues from the contributing building to fit into the district more harmoniously.

The contributing residences within the Eliot Lane Historic District are all modest, Spanish Colonial Revival houses with flat roofs, stucco cladding, clay tile accents, and minimal ornamentation or Craftsman-inspired bungalows with gabled roofs, and wood siding. They are primarily one story in height with a shallow setback from the street. Property owners planning new construction should consider including features like a flat roof, clay tile accents, smooth stucco cladding, arched openings, and rectangular windows in their design, or a design including a gabled roof, exposed rafter tails, wood siding, and rectangular openings. Owners should anticipate conforming to the prevailing height and setback in the district, especially those contributing properties immediately adjacent to the subject property.

